

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

LEGAL DESCRIPTION

A PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 28; THENCE SOUTH 11°59'49" EAST A DISTANCE OF 2354.89 FEET TO THE NORTHEAST CORNER OF TRACT M (FUTURE R.O.W. FOR UINTA ST.), STAPLETON FILING NO. 32 RECORDED UNDER RECEPTION NUMBER 2010138135 IN THE CLERK AND RECORDER'S OFFICE OF SAID CITY AND COUNTY OF DENVER AND THE POINT OF BEGINNING;

THENCE NORTH 90°00'00" EAST, ALONG THE SOUTHERLY LINE OF TRACT H (FUTURE R.O.W. FOR 33 AVE.), SAID STAPLETON FILING NO. 32, A DISTANCE OF 467.00 FEET TO THE WESTERLY LINE OF TRACT BL (FUTURE R.O.W. FOR CENTRAL PARK BLVD.), STAPLETON FILING NO. 18 RECORDED UNDER RECEPTION NUMBER 2006167967 IN SAID CLERK AND RECORDER'S OFFICE;

THENCE SOUTH 00°00'00" EAST, ALONG SAID WESTERLY LINE OF TRACT BL (FUTURE R.O.W. FOR CENTRAL PARK BLVD.), A DISTANCE OF 440.75 FEET TO THE NORTHEAST CORNER OF TRACT A (FUTURE R.O.W. FOR 32ND AVE.), STAPLETON FILING NO. 48 RECORDED UNDER RECEPTION NUMBER 2016102959 IN SAID CLERK AND RECORDER'S OFFICE;

THENCE ALONG THE NORTHERLY LINE OF SAID TRACT A (FUTURE R.O.W. FOR 32ND AVE.) THE FOLLOWING FOUR (4) COURSES:

- 1. NORTH 90°00'00" WEST A DISTANCE OF 171.72 FEET TO A POINT OF CURVE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 311.00 FEET, A CENTRAL ANGLE OF 24°13'33", AN ARC LENGTH OF 131.50 FEET AND WHOSE CHORD BEARS NORTH 77°53'14" WEST A DISTANCE OF 130.52 FEET TO A POINT OF REVERSE CURVE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 364.00 FEET, A CENTRAL ANGLE OF 24°13'33", AN ARC LENGTH OF 153.91 FEET AND WHOSE CHORD BEARS NORTH 77°53'14" WEST A DISTANCE OF 152.76 FEET;
4. NORTH 90°00'00" WEST A DISTANCE OF 18.31 FEET TO THE EASTERLY LINE OF SAID TRACT M (FUTURE R.O.W. FOR UINTA ST.);

THENCE NORTH 00°00'00" EAST, ALONG SAID EASTERLY LINE OF SAID TRACT M (FUTURE R.O.W. FOR UINTA ST.), A DISTANCE OF 381.31 FEET TO THE POINT OF BEGINNING;

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE 42' RANGE LINE IN UINTA STREET FROM 32ND AVENUE TO 33RD AVENUE AS SHOWN ON THE PLAT OF STAPLETON FILING NO. 32 RECORDED NOVEMBER 29, 2010 AT RECEPTION NO. 2010138135 IN THE OFFICE OF THE CLERK AND RECORDER FOR THE CITY AND COUNTY OF DENVER, BEING MONUMENTED AS SHOWN HEREON, AS BEARING NORTH 00°00'00" WEST.

BENCHMARK

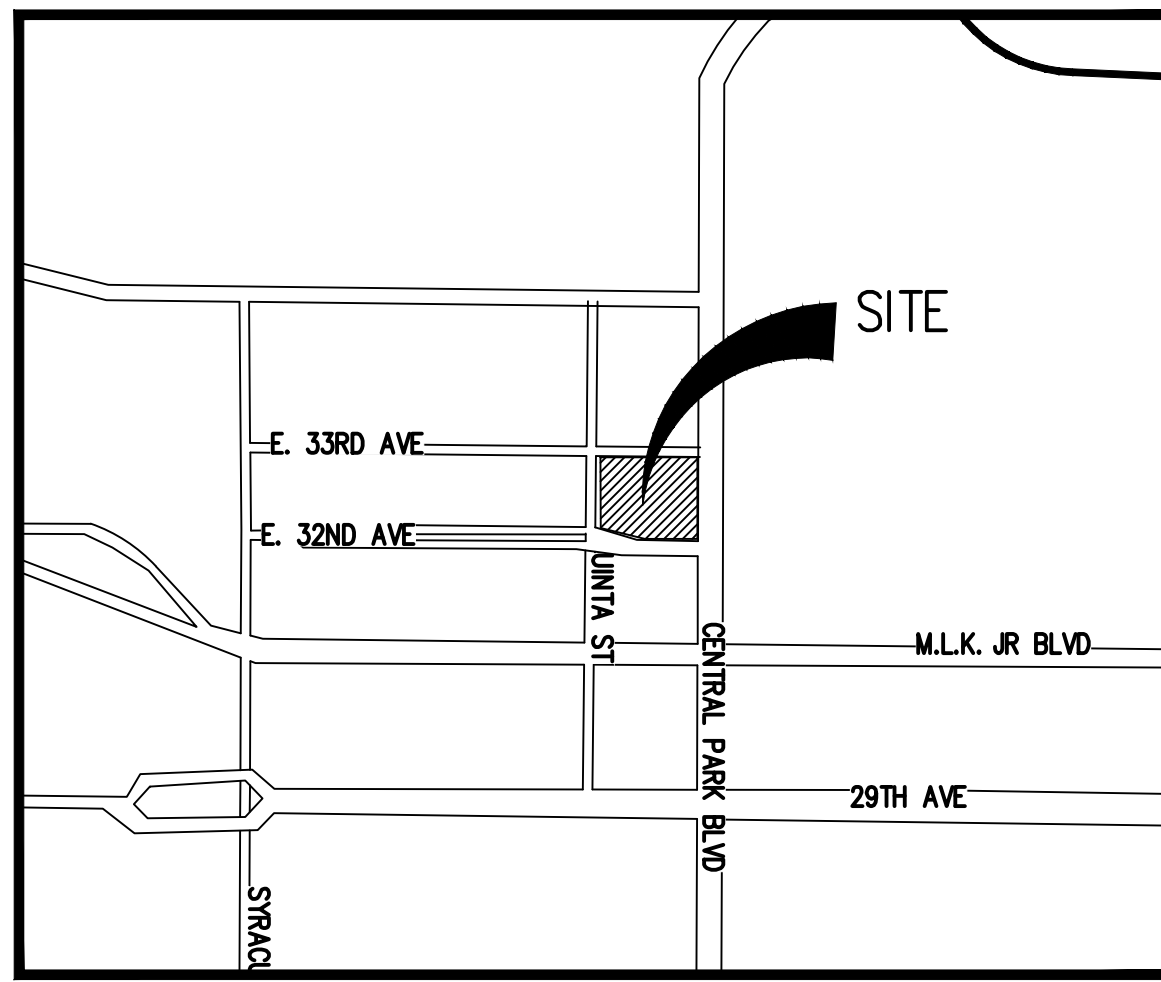
BENCHMARK IS A STAINLESS STEEL ROD NGS J392 IN RANGE BOX, LOCATED BETWEEN 25TH DRIVE AND 26TH AVENUE, ELEVATION = 5313.15 (URS) 5313.08 (NGS DATA SHEET). NAVD88

GENERAL NOTES

- 1. DES APPROVAL DOES NOT CONSTITUTE A NOTICE TO PROCEED. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING APPROPRIATE CONSTRUCTION PERMITS.
2. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW SHALL BE PERFORMED BY A LICENSED AND BONDED ROW CONTRACTOR AND REQUIRE INSPECTION BY THE CITY AND COUNTY PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) OR CERTIFICATE OF OCCUPANCY (CO).
3. ALL WORK SHALL CONFORM TO CURRENT CITY AND COUNTY OF DENVER SPECIFICATIONS. IF THE CONSTRUCTION ENGINEERING INSPECTOR FINDS A PROBLEM ON THE APPROVED PLANS DURING CONSTRUCTION THAT CONFLICT WITH A CCD STANDARD, THE INSPECTOR MAY HALT CONSTRUCTION UNTIL THE ISSUE IS RESOLVED.
4. CONSTRUCTION SHALL COMMENCE WITHIN ONE YEAR OF TEP APPROVAL. AFTER ONE YEAR, TEP APPROVAL EXPIRES AND RESUBMITTAL/APPROVAL OF TEP IS REQUIRED. CONSTRUCTION SHALL BE COMPLETED WITHIN TWO YEARS OF DES APPROVAL OR AN EXTENSION IS REQUIRED.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PROJECT PERMITS ASSOCIATED WITH CONSTRUCTION. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW TOTALING MORE THAN \$20,000 REQUIRE A PERFORMANCE BOND PRIOR TO BEGINNING ANY WORK IN THE ROW. CONTACT CONSTRUCTION ENGINEERING AT (303) 446-3469 TWO WEEKS BEFORE ANY CONSTRUCTION PERMIT NEEDS.
6. PERMITTEE SHALL NOTIFY THE CONSTRUCTION ENGINEERING INSPECTOR: 1) TWO WORKING DAYS BEFORE COMMENCING WORK IN ROW; 2) WHEN SUSPENDING OPERATIONS IN ROW FOR 5 OR MORE WORKING DAYS; 3) TWO WORKING DAYS BEFORE RESUMING SUSPENDED ROW WORK; 4) UPON COMPLETION OF ROW WORK.
7. CONTRACTOR SHALL MAINTAIN AT LEAST ONE PRINTED COPY OF THE APPROVED PLANS, SPECIFICATIONS AND STANDARDS ON THE JOB SITE AT ALL TIMES.
8. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING AND SCHEDULING ALL INSPECTIONS REQUIRED FOR FINAL APPROVALS AND PROJECT ACCEPTANCE.
9. PRIOR TO FINAL ACCEPTANCE, ALL DISTURBED PORTIONS OF ROADWAY ROW SHALL BE CLEANED UP AND RESTORED TO THEIR ORIGINAL CONDITION, SUBJECT TO CITY AND COUNTY APPROVAL.
10. ALL WORK, INCLUDING CORRECTION WORK, IS SUBJECT TO NOTIFICATION AND INSPECTION REQUIREMENTS.
11. ALL WORK SHALL BE PROPERLY BACKFILLED PRIOR TO THE END OF WORKDAY. NO OPEN HOLES ARE ALLOWED OVERNIGHT. ALL WORK IS TO BE IN ACCORDANCE WITH PERMIT REQUIREMENTS AND APPLICABLE STANDARDS.
12. NO WORK SHALL BE PERMITTED AT NIGHT OR ON SATURDAYS, SUNDAYS, OR HOLIDAYS WITHOUT PRIOR AUTHORIZATION OR UNLESS OTHERWISE SPECIFIED IN THE PERMIT. THE CITY AND COUNTY MAY RESTRICT WORK IN ROW DURING ADVERSE WEATHER CONDITIONS OR DURING PERIODS OF HIGH TRAFFIC VOLUME.
13. COORDINATE ALL STREET OCCUPANCY OR STREET CUT PERMITS WITH CONSTRUCTION ENGINEERING 2 WEEKS PRIOR TO COMMENCEMENT OF WORK.
14. IN THE EVENT THAT AN EMERGENCY REPAIR TO EXISTING FACILITIES IS NECESSARY, THE CONSTRUCTION ENGINEERING INSPECTOR SHALL IMMEDIATELY BE NOTIFIED OF POSSIBLE TRAFFIC HAZARDS. EMERGENCY PROCEDURES SHALL BE COORDINATED BEFOREHAND, WHERE POSSIBLE. NO WORK WILL BE ALLOWED UNTIL NOTIFICATION IS RECEIVED. EMERGENCY TELEPHONE NOTIFICATION MUST BE FOLLOWED UP WITH A LETTER AS SOON AS POSSIBLE.
15. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. A TRAFFIC CONTROL PLAN (TCP) IS SUBJECT TO CCD AND/OR CDOT APPROVAL PRIOR TO COMMENCING WORK ON ROADWAY ROW. A COPY OF APPROVED TCPs MUST BE AVAILABLE ON SITE DURING WORK. TRAFFIC CONTROL IS TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), SECTION VI.
16. CLOSURES OF ARTERIAL ROADS OR INTERSECTIONS SHALL REQUIRE SITE SPECIFIC TRAFFIC CONTROL PLANS.
17. ALL TRAFFIC CONTROL PLANS AND SCHEDULES MUST BE APPROVED BY CONSTRUCTION ENGINEERING PRIOR TO STREET OCCUPANCY OR STREET CUT PERMIT SUBMITTAL.
18. THE DEVELOPER IS RESPONSIBLE FOR ANY MODIFICATIONS TO EXISTING PAVEMENT MARKINGS NECESSITATED BY THIS DEVELOPMENT. PROPOSED PAVEMENT MARKING MUST BE PER PUBLIC WORKS TRANSPORTATION AND MOBILITY STANDARDS. ALL MARKINGS MUST BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
19. OWNER MUST ACQUIRE A MGPEC COMPLIANT QUALITY CONTROL LABORATORY PRIOR TO STARTING CONSTRUCTION AND MUST PERFORM ALL QUALITY CONTROL TESTING WITHIN THE RIGHT-OF-WAY FOLLOWING THE MGPEC FREQUENCY FOR TESTING. THE CCD WILL ONLY PROVIDE QUALITY ASSURANCE.
20. A MONUMENT RECORD MUST BE FILED WITH THE CITY AND COUNTY SURVEYOR'S OFFICE, THROUGH PUBLIC WORKS PLANS REVIEW SERVICES (PWP/RS), ON ALL CROSSES ON CURB HEADS, BENCHMARKS, RANGE POINTS AND SECTION CORNERS SO THEY CAN BE REPLACED AFTER CONSTRUCTION. THE MONUMENT RECORD MUST BE FILED WITH THE CITY AND COUNTY SURVEYOR'S OFFICE BEFORE THE PLAN AND PROFILES CAN BE APPROVED. THIS MUST BE DONE BY A PROFESSIONAL LICENSED LAND SURVEYOR. THESE MONUMENTS MUST BE REPLACED BY THE DEVELOPER'S SURVEYOR BEFORE NEW CONSTRUCTION CAN BE ACCEPTED BY CCD.
21. ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER CCD SURVEY CONTROL POINTS, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, MUST BE PRESERVED.
22. THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND CONSTRUCTION ENGINEERING THREE DAYS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE. DAMAGED UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
23. RELOCATION OF UTILITIES SUCH AS POWER POLES AND FIRE HYDRANTS THAT LIE WITHIN THE PUBLIC ROW WILL BE THE COST OF THE DEVELOPER AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY OR AGENCY.
24. PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO THE PUBLIC ROW SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
25. THE DEVELOPER SHALL PAY XCEL ENERGY FOR THE CONSTRUCTION AND/OR RELOCATION OF STREETLIGHTS WITHIN THE PUBLIC ROW. THE STREETLIGHTS SHALL BE CONSTRUCTED AND/OR RELOCATED TO THE CURRENT CITY AND COUNTY STANDARDS AND COORDINATED THROUGH XCEL ENERGY.
26. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE PROJECT STANDARDS. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.
27. PATCH ASPHALT PAVING AS NECESSARY TO JOIN NEW GUTTERS WITH THE EXISTING PAVEMENT. REMOVAL AND REPLACEMENT OF ASPHALT SHALL BE PER THE LATEST STANDARDS AND DETAILS FOR ENGINEERING DIVISION.
28. CONSTRUCTION OF ANY PORTION OF THE ROADWAY FACILITY, INCLUDING THE PAVEMENT STRUCTURE, SUBSURFACE SUPPORT, DRAINAGE, LANDSCAPING ELEMENTS, AND ALL APPURTENANT FEATURES SHALL COMPLY WITH THE PROVISIONS OF THE CITY AND COUNTY STANDARD SPECIFICATIONS AND STANDARD PLANS.
29. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL IS TO BE PLACED ON THE UPHILL SIDE OF TRENCHES.
30. ALL CONCRETE WORK REQUIRES FULL PANEL REPLACEMENT.
31. MATERIAL REMOVED FROM ANY PORTION OF THE ROADWAY PRISM MUST BE REPLACED IN LIKE KIND WITH EQUAL OR BETTER COMPACTION. NO SEGREGATION OF MATERIAL WILL BE PERMITTED.
32. ANY EXISTING CURB, GUTTER, DRIVEWAYS, AND SIDEWALK THAT IS FAILING OR DAMAGED MUST BE REPAIRED OR REPLACED AT THE DIRECTION OF CONSTRUCTION ENGINEERING.
33. PROTECTION AND REPLACEMENT OF STREET IMPROVEMENTS ARE THE RESPONSIBILITY OF THE OWNER UNTIL THESE IMPROVEMENTS ARE FULLY COMPLETED AND ACCEPTED BY THE CITY AND COUNTY.
34. THE PERMITTEE SHALL NOT SPRAY, CUT, OR TRIM TREES OR OTHER LANDSCAPING ELEMENTS WITHIN ROW UNLESS SUCH WORK IS OTHERWISE SPECIFIED IN THIS PERMIT OR CLEARLY INDICATED ON THE APPROVED PLANS.
35. SEEDING, SODDING, AND PLANTING IN THE ROW SHALL BE AS SPECIFIED OR OTHERWISE APPROVED BY THE CITY AND COUNTY. CONSTRUCTION, MAINTENANCE, AND WATERING REQUIREMENTS SHALL CONFORM TO CITY AND COUNTY STANDARD SPECIFICATIONS. WHERE LANDSCAPE RESTORATION MUST BE DELAYED DUE TO SEASONAL REQUIREMENTS, SUCH WORK MAY BE AUTHORIZED BY A SEPARATE PERMIT.
36. UNLESS STREETScape HAS BEEN APPROVED, THE DEVELOPER SHALL LANDSCAPE ALL ROW WITH SOO AND TREES. ALL LANDSCAPING WITHIN THE ROW SHALL BE IN CONFORMANCE WITH THE LATEST STREETScape DESIGN MANUAL. NO LOOSE MATERIAL (I.E., ROCK, BARK, GRAVEL, ETC.) SHALL BE ALLOWED. DECORATIVE CONCRETE OR LOW GROWING PLANT MATERIAL MAY BE ALLOWED ONLY WITH THE SPECIFIC APPROVAL OF DES. TREES SHALL BE PRE-APPROVED BY THE CITY AND COUNTY FORESTER'S OFFICE AND SHALL BE A MINIMUM OF 20' FROM PROPERTY CORNERS AT INTERSECTIONS, 20' FROM THE EDGE OF CURB RAMPS, 25' FROM STREET LIGHTS AND 10' FROM EDGE OF DRIVEWAYS.
37. THE PERMITTEE SHOULD REMOVE MATERIALS AND EQUIPMENT FROM THE ROADWAY ROW AT THE CLOSE OF DAILY OPERATIONS. THE TRAFFIC CONTROL PLAN (TCP) MUST INCLUDE PROTECTIVE MEASURES WHERE MATERIALS AND EQUIPMENT MAY BE STORED IN ROW, BUT ENSURE FIVE FEET OF PEDESTRIAN CLEARANCE ON SIDEWALKS.
38. NO CLEARED OR TRACKED EQUIPMENT MAY WORK IN OR MOVE OVER PAVED SURFACES WITHOUT MATS.
39. STREET CUTS IN TO MORATORIUM STREETS WILL REQUIRE EITHER AN OVERLAY OR INFRA-RED PATCH. COORDINATE MORATORIUM STREET REQUIREMENTS WITH CONSTRUCTION ENGINEERING.
40. WHERE THE USE, CONVENIENCE, AND/OR NECESSITY OF THE PUBLIC REQUIRE, THE MANAGER OF PUBLIC WORKS MAY REQUIRE THE OWNERS OR AGENTS OF THE PROPERTY SERVED BY A CURB CUT TO REPAIR, ALTER, CONSTRUCT OR RECONSTRUCT, CLOSE BY REPLACING THE CURB, OR TO CHANGE THE WIDTH AND LOCATION OF THE CURB CUT.
41. WHERE THE USE, CONVENIENCE, AND/OR NECESSITY OF THE PUBLIC REQUIRE, THE MANAGER OF PUBLIC WORKS MAY MODIFY, REMOVE, OR ADD TRAFFIC SIGNS, PAVEMENT MARKINGS, OR THE ON-STREET PARKING ALONG THE PROPERTY FRONTAGE.
42. PRIOR TO THE SOLICITATION OF BIDS OR PROPOSALS FROM GENERAL CONTRACTORS, THE DEVELOPER OF THIS PROJECT IS STRONGLY ENCOURAGED TO SCHEDULE AN OFFICE MEETING WITH THE RIGHT-OF-WAY SERVICES CONSTRUCTION INSPECTIONS TEAM (P/PERMITS@DENVERGOV.ORG OR (303)446-3469) TO DISCUSS THE PROJECT'S IMPACT TO CITY TRAFFIC, STREETS, ROADS, ALLEYS AND SIDEWALKS, AND THE ASSOCIATED ROW PERMIT FEES THAT WILL NEED TO BE PAID BY THE SELECTED GENERAL CONTRACTOR.
43. ANY SAW CUTS AND PATCHING SHOWN IN THIS PERMIT ARE APPROXIMATE. THE EXTENT OF THE ASPHALT PATCHING WILL BE SUBJECT TO THE APPROVAL BY THE ROW INSPECTOR IN THE FIELD.
44. THIS PROJECT IS LOCATED WITHIN THE PARK CREEK AND WESTERLY CREEK METROPOLITAN DISTRICTS (THE "DISTRICT"). THIS DISTRICT MAY INCLUDE, BUT IS NOT LIMITED TO, STREETScape AMENITIES SUCH AS TREES, TREE GRATES, IRRIGATION, PEDESTRIAN LIGHTS, ELECTRIC POWER SUPPLY, SIDEWALK, PAVERS, PLANTERS, WALLS, BENCHES AND TRASH RECEPTACLES. ANY DAMAGE TO THE STREETScape AMENITIES OF THIS DISTRICT, INCLUDING UTILITIES, AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT HIS COST.
45. DISTRICT UTILITIES MAY EXIST IN THIS PROPERTY'S STREET FRONTAGE. THE UTILITY NOTIFICATION CENTER OF COLORADO OR PRIVATE UTILITY LOCATE COMPANIES MAY BE UNABLE TO IDENTIFY OR LOCATE DISTRICT UTILITIES. THESE UTILITIES ARE TYPICALLY IRRIGATION OR ELECTRIC LINES.

SOLANA CENTRAL PARK
SITUATED IN THE EAST HALF OF SECTION 28, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY AND COUNTY OF DENVER, COLORADO

TRANSPORTATION ENGINEERING PLAN



VICINITY MAP SCALE: 1" = 1000'

SHEET INDEX table with columns SHEET NUMBER and SHEET TITLE. Rows include 1 COVER, 2 SITE PLAN, 3 CURB CUTS, 4 SIGNAGE & STRIPING.

ABBREVIATIONS

Table of abbreviations including AC ACRE, BW BACK OF WALK, BLDG BUILDING, CCD CITY & COUNTY OF DENVER, C&G CURB & GUTTER, CF CUBIC FEET, CL CENTER LINE, DIA DIAMETER, DIST DISTANCE, DR DOOR, DTL DETAIL, DWG DRAWING, E EAST, EASTING, EL ELEVATION, ESMT EASEMENT, EX EXISTING, FES FLARED END SECTION, FF FINISHED FLOOR, FH FIRE HYDRANT, FL FLOW LINE, FT FEET, HORZ HORIZONTAL, IN INCH, LT LEFT, MAX MAXIMUM, MIN MINIMUM, N NORTH, NORTHING, PKWY PARKWAY, PR PROPOSED, ROW RIGHT OF WAY, RT RIGHT, S SOUTH, ST STREET, STD STANDARD, W WEST, WAT WATER.

Table with columns ISSUE DATE, PROJECT #, DATE, and REVISION COMMENTS. Includes entries for 01-11-2021 PER CITY COMMENTS and 03-23-2021 PER CITY COMMENTS.



CITY AND COUNTY OF DENVER DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE (DOTI) DEVELOPMENT ENGINEERING SERVICES. Includes approval signature of Viktoria Luckner dated 11/04/2021.

APPROVED AS TO FORM, ENGINEERING CALCULATIONS, DRAWINGS AND DESIGN ADEQUACY ARE ACCEPTED BASED UPON THE PROJECT ENGINEER'S ATTACHED SEAL OF REGISTRATION. THIS APPROVAL IS FOR: TRANSPORTATION ENGINEERING PLAN

CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811 THREE (3) BUSINESS DAYS IN ADVANCE BEFORE DIGGING, GRADING, OR EXCAVATION FOR MARKING OF MEMBER'S UNDERGROUND UTILITIES.

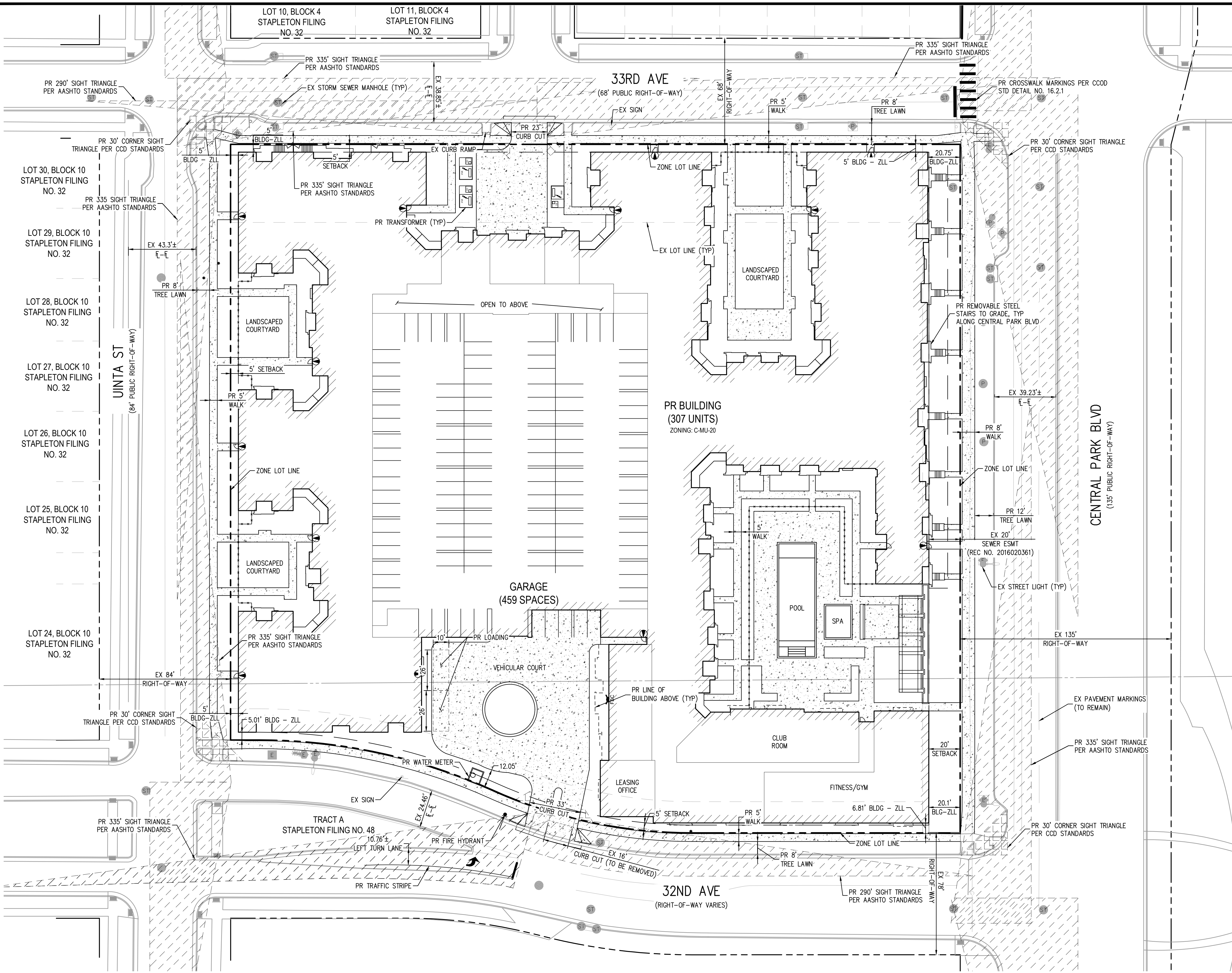
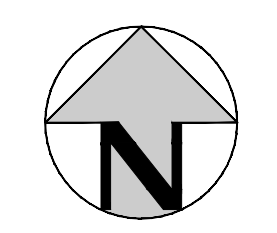
Table with project information: DES PROJECT NO. 2020-PROJMSTR-0000298, PROJECT NAME: SOLANA CENTRAL PARK, DRAWING NO. 1.



HKS HARRIS KOCHER SMITH logo and address: 1120 Lincoln Street, Suite 1000 Denver, Colorado 80203. P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com

Filename: K:\2020\ENGINEERING\ROADWAY\TEP - COVER SHEET.DWG Layout: LAYOUT1 Plot Date: 11/03/2021 11:00:30A By: Ljvls_wjw@hks.com

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

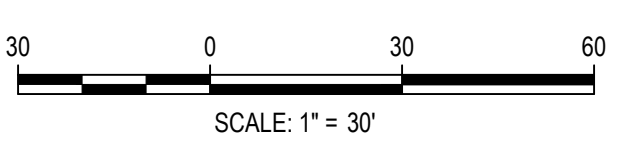


- NOTES:**
1. PEDESTRIAN SIGHT TRIANGLE: NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.
 2. CORNER SIGHT TRIANGLE: MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
 3. ROADWAY SIGHT TRIANGLES: NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

- LEGEND:**
- PROPERTY BOUNDARY/ZONE LOT
 - RIGHT-OF-WAY
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING STREET LIGHTS
 - BUILDING ENTRANCE
 - EXISTING UTILITY POLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING ELECTRIC BOX
 - EXISTING WATER METER
 - PROPOSED WATER METER
 - PROPOSED STORM SEWER MANHOLE
 - PROPOSED CURB RAMP

CITY AND COUNTY OF DENVER			
DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE (DOTI)			
DEVELOPMENT ENGINEERING SERVICES			
DES PROJECT NO.	2020-PROJMSTR-0000298		
PROJECT NAME:	SOLANA CENTRAL PARK		
DESIGNED BY:	DATE:	DATE ISSUED:	DRAWING NO.
DRAWN BY:	DATE:	SHEET	2 OF 4 SHEETS
CHECKED BY:	DATE:		2

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 PLOTTED: TUE 02/23/21 11:00:32A BY: LINDA JENCOWSKI



ISSUE DATE: 11-02-2020	
DATE	REVISION COMMENTS
01-11-2021	PER CITY COMMENTS
03-23-2021	PER CITY COMMENTS

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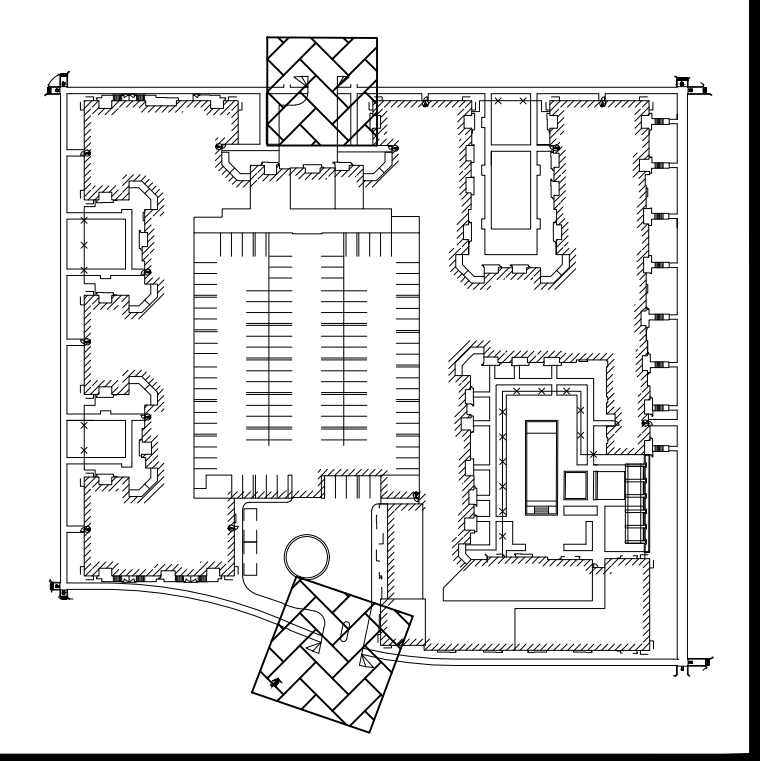


SOLANA CENTRAL PARK
SITE PLAN

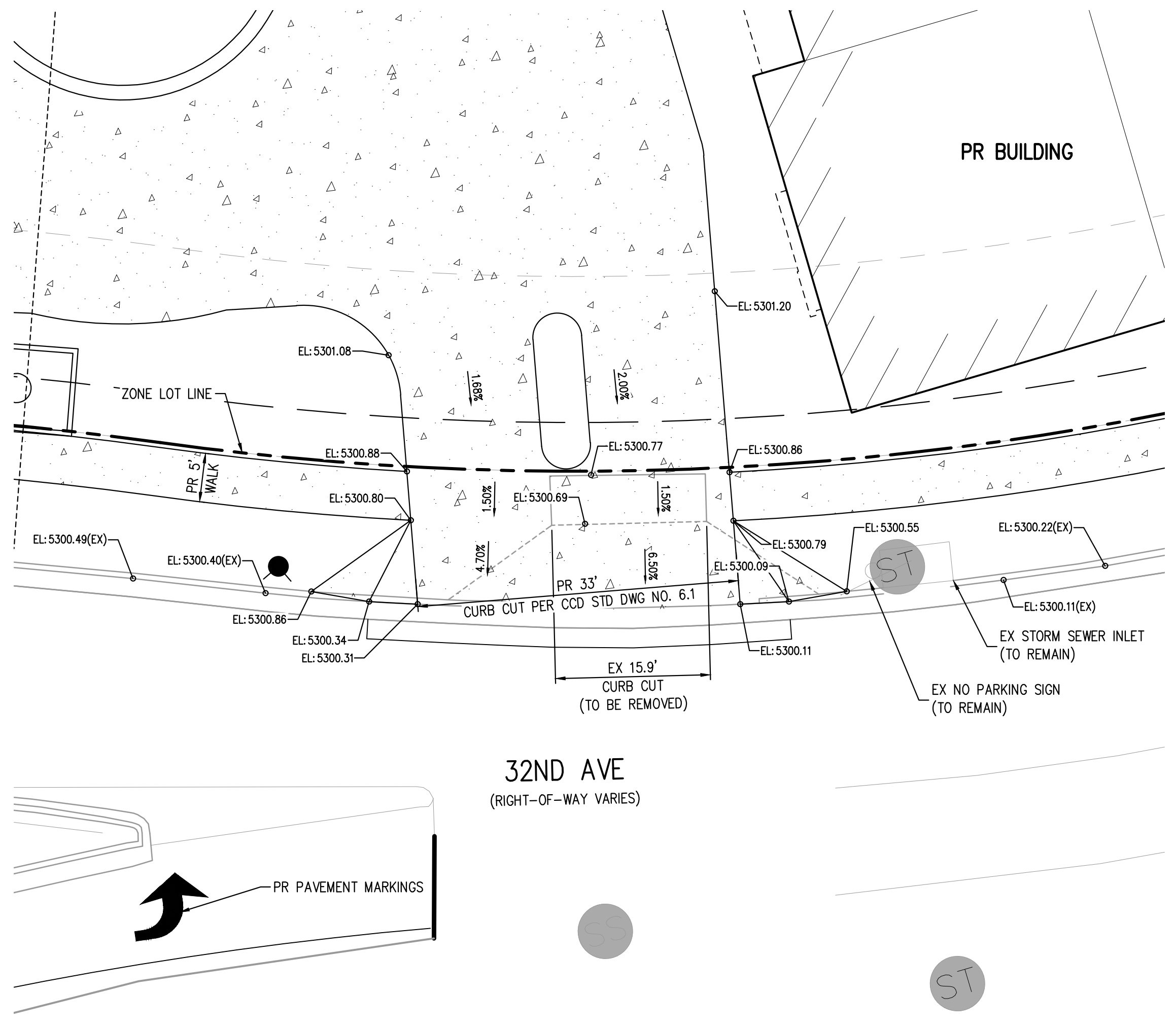


PROJECT #: 200225
SHEET NUMBER
2
2 OF 4

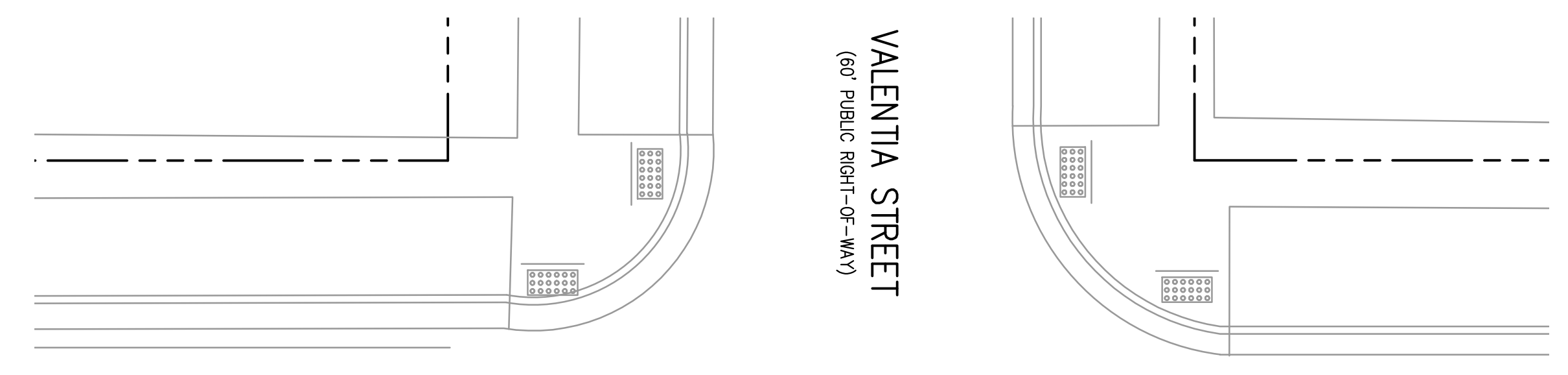
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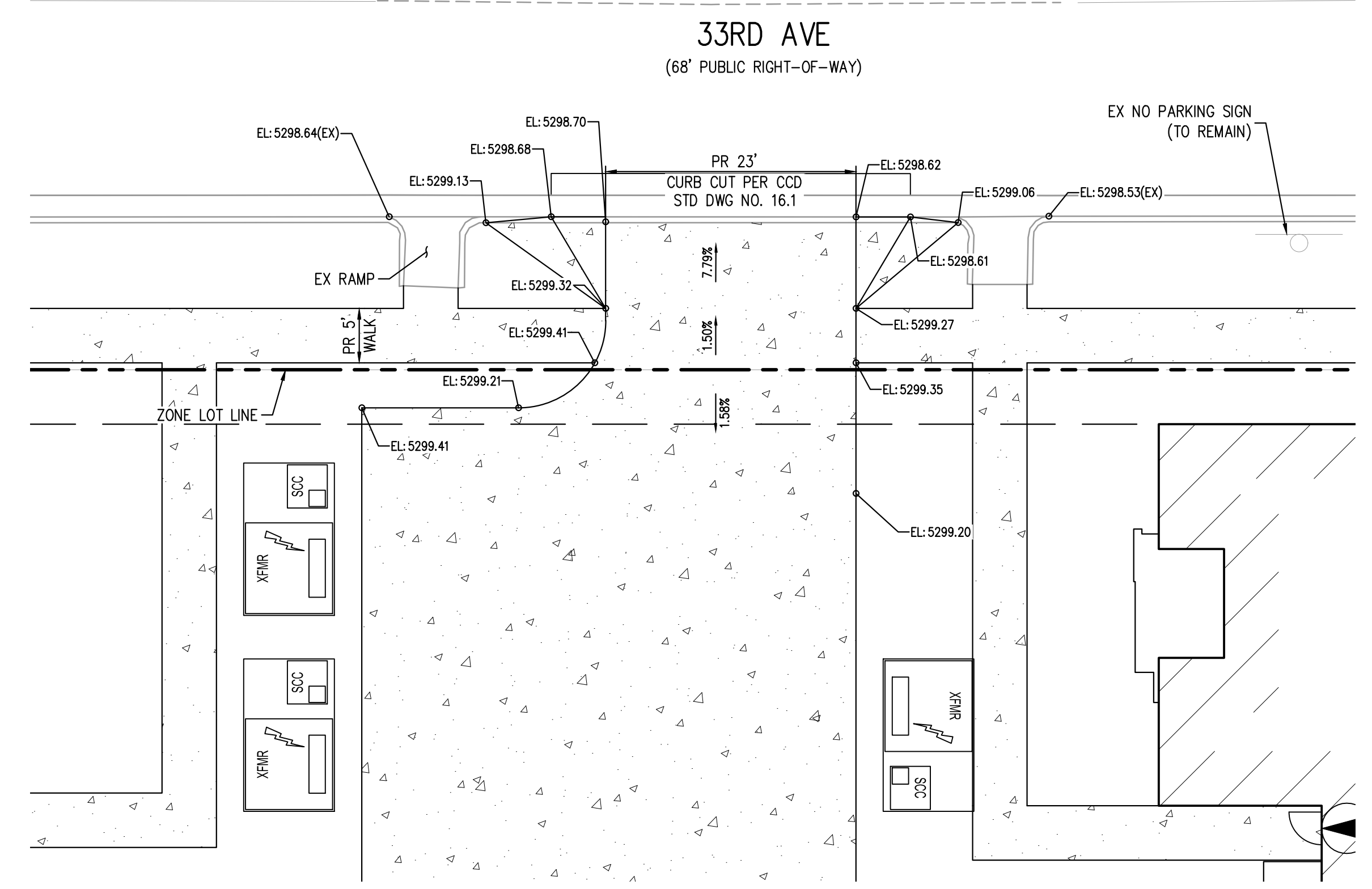
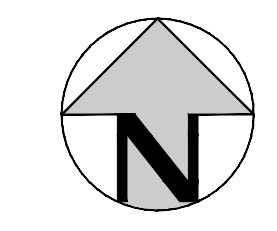
KEY MAP
SCALE: 1" = 150'



SOUTH ENTRANCE CURB CUT
SCALE: 1" = 10'



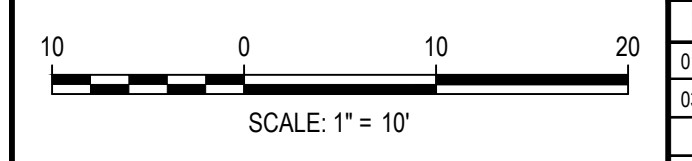
VALENTIA STREET
(68' PUBLIC RIGHT-OF-WAY)



NORTH ENTRANCE CURB CUT
SCALE: 1" = 10'

FILE PATH: K:\200225\ENGINEERING\ROADWAY\TEMP - CURB CUTS.DWG LAYOUT: LAYOUT1
 5/16/2021 11:00:48 AM BY: LINDA LENCIOWSKI
 PLOTTED: TUE 03/23/21 11:00:48 AM BY: LINDA LENCIOWSKI

CITY AND COUNTY OF DENVER DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE (DOTI) DEVELOPMENT ENGINEERING SERVICES			
DES PROJECT NO. 2020-PROJMSTR-0000298		DRAWING NO. 3	
PROJECT NAME: SOLANA CENTRAL PARK			
DESIGNED BY: LMJ	DATE: 11-02-2020	DATE ISSUED: 11-02-2020	
DRAWN BY: LMJ	DATE: 11-02-2020	SHEET 3 OF 4 SHEETS	
CHECKED BY: KPK	DATE: 11-02-2020		



DESIGNED BY: LMJ
 CHECKED BY: KPK
 DRAWN BY: LMJ

DATE	REVISION COMMENTS
01-11-2021	PER CITY COMMENTS
03-23-2021	PER CITY COMMENTS

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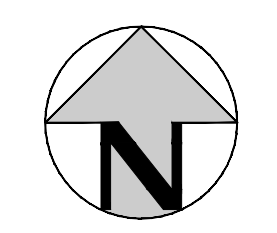
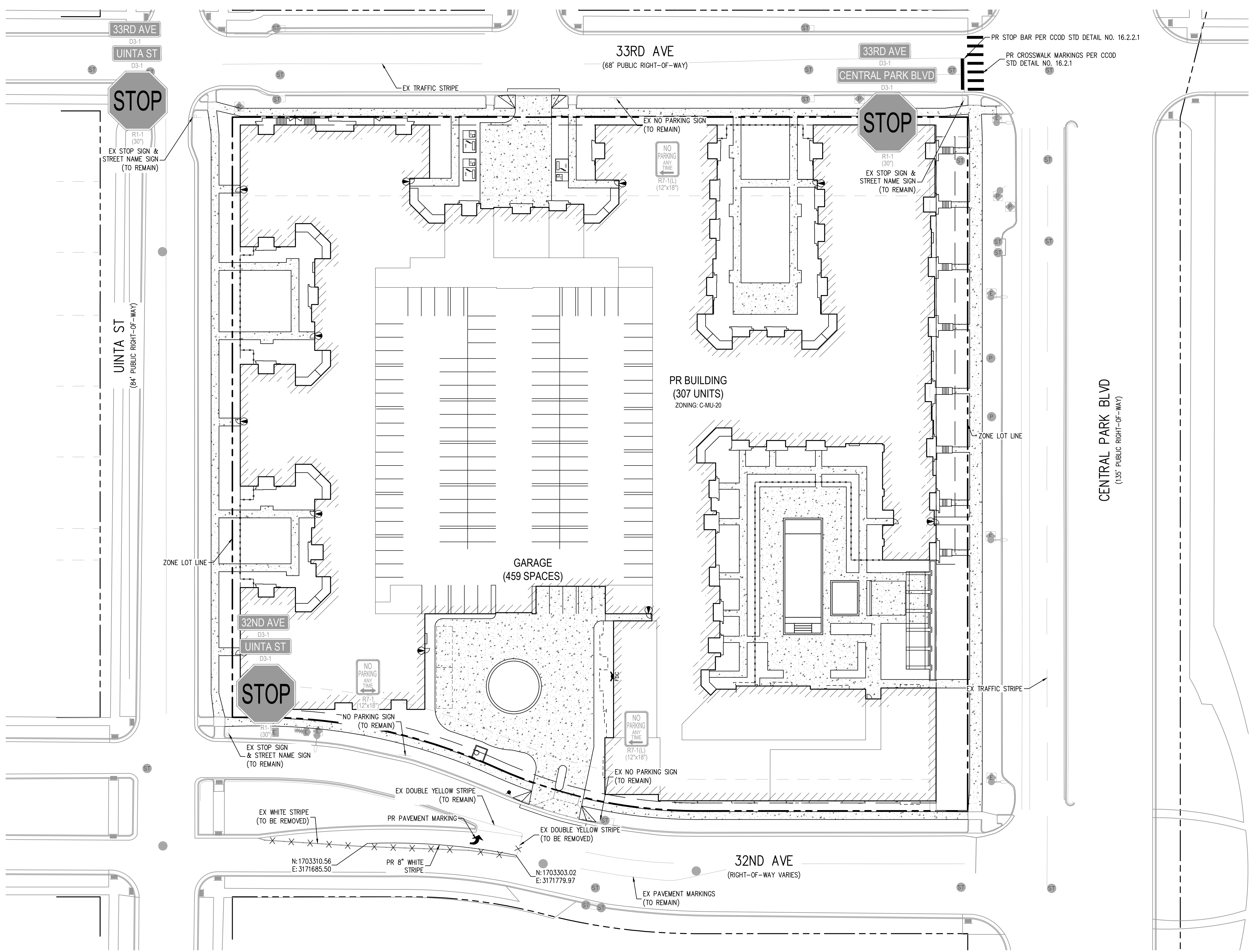


SOLANA CENTRAL PARK
CURB CUTS



PROJECT #: 200225
 SHEET NUMBER
3
 3 OF 4

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



LEGEND:

- PROPOSED PROPERTY BOUNDARY/ZONE LOT
- RIGHT-OF-WAY
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING STREET LIGHTS
- BUILDING ENTRANCE
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING ELECTRIC BOX
- EXISTING WATER METER
- EXISTING SIGN
- PROPOSED WATER METER
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB RAMP

CITY AND COUNTY OF DENVER DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE (DOTI) DEVELOPMENT ENGINEERING SERVICES			
DES PROJECT NO.	2020-PROJMSTR-0000298		
PROJECT NAME:	SOLANA CENTRAL PARK		
DESIGNED BY:	DATE:	DATE ISSUED:	DRAWING NO.
LJM	11-02-2020	11-02-2020	4
DRAWN BY:	DATE:	SHEET	OF 4 SHEETS
LJM	11-02-2020	4	4
CHECKED BY:	DATE:		
KPK	11-02-2020		

FILEPATH: K:\2020\ENGINEERING\ROADWAY\STEP - SIGNAGE & STRIPING\DWG LAYOUT\LAYOUT1
 7 VIEWS: 1: 3/24/2021 11:00:57A BY: LINDA JENCOWSKI
 PLOTTED: TUE 03/23/21 11:00:57A BY: LINDA JENCOWSKI

811
Know what's below.
Call before you dig.

ISSUE DATE: 11-02-2020	
DATE	REVISION COMMENTS
01-11-2021	PER CITY COMMENTS
03-23-2021	PER CITY COMMENTS

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PROFESSIONAL ENGINEER
54352
3/24/2021

PROJECT #: 200225
SHEET NUMBER
4
4 OF 4