

SITE PLAN

23RD AND DAYTON STREET REDEVELOPMENT

LOCATED AT 2323 DAYTON STREET, IN THE
NEW ENGLAND HEIGHTS SUBDIVISION
BLOCK 16, LOTS 25-36
CITY OF AURORA, ADAMS COUNTY, COLORADO

GENERAL NOTES

1. ACCESSIBLE EXTERIOR ROUTES SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC SIDEWALKS TO 60% OF THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE BETWEEN ACCESSIBLE PARKING AND ACCESSIBLE BUILDING ENTRANCES SHALL BE THE MOST PRACTICAL DIRECT ROUTE. THE ACCESSIBLE ROUTE MUST BE LOCATED WITHIN A SIDEWALK. NO SLOPE ALONG THIS ROUTE MAY EXCEED 1:20 WITHOUT PROVIDING A RAMP WITH A MAXIMUM SLOPE OF 1:12 AND HANDRAILS. CROSSWALKS ALONG THIS ROUTE SHALL BE WIDE ENOUGH TO WHOLLY CONTAIN THE CURB RAMP WITH A MINIMUM OF 36" AND SHALL BE PAINTED WITH WHITE STRIPES. THE CITY OF AURORA ENFORCES HANDICAPPED ACCESSIBILITY REQUIREMENTS BASED ON THE 2015 INTERNATIONAL BUILDING CODE, CHAPTER 11, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ICC/ANSI) A117-2009.

2. ALL BUILDING ADDRESS NUMBERS SHALL COMPLY WITH THE AURORA CITY CODE, CHAPTER 126, ARTICLE VII-NUMBERING OF BUILDINGS.

3. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF FIRE LANE EASEMENTS CONSTRUCTED WITHIN THIS SITE USING ALTERNATIVE SURFACING MATERIALS SUCH AS, BUT NOT LIMITED TO: GRASSPAVE, GRASS CRETE, RITTER RINGS, INVISIBLE STRUCTURES UTILIZED ONLY FOR EMERGENCY VEHICLE ACCESS USE. THIS AGREEMENT WILL INCLUDE SNOW REMOVAL TO ENSURE EMERGENCY ACCESS IS AVAILABLE AT ALL TIMES. IF THE ABOVE CONDITIONS ARE NOT MET, THE OWNERS, HIS SUCCESSORS AND ASSIGNS SHALL BE REQUIRED BY ORDER NOTICE FROM THE AURORA FIRE DEPARTMENT TO REMOVE THE INVISIBLE STRUCTURE AND REPLACE IT WITH AN ASPHALT OR CONCRETE ROAD SURFACE THAT MEETS THE CONSTRUCTION REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT FIRE LANE STANDARDS AND BE SHOWN IN DETAIL WITHIN THE CIVIL PLANS.

4. THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.

5. EMERGENCY INGRESS AND EGRESS-RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND WAYS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY, AND THE SAME ARE HEREBY DESIGNATED AS "SERVICE/EMERGENCY AND UTILITY EASEMENTS" AND SHALL BE POSTED "NO PARKING - FIRE LANE".

6. EMERGENCY RESPONDER RADIO COVERAGE: ALL NEW COMMERCIAL BUILDINGS; ADDITIONS TO EXISTING BUILDINGS; SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. THIS BUILDING MUST BE ASSESSED TO DETERMINE ADEQUATE IN-BUILDING RADIO COVERAGE AT TIME OF FINAL FRAME AND ELECTRICAL INSPECTION BY A QUALIFIED 3RD PARTY INSPECTION SERVICE AT THE OWNER/DEVELOPER'S EXPENSE. LACK OF ADEQUATE IN-BUILDING RADIO COVERAGE MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHERE THE STRUCTURE IS FOUND DEFICIENT, A SEPARATE PERMIT IS REQUIRED TO INSTALL, REPAIR, OR MODIFY ANY EMERGENCY RESPONSE RADIO COVERAGE SYSTEM PER 2015 IFS, SECTION 510.

7. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND WAYS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT THEY SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HERE ON, A HARD SURFACE IN ACCORDANCE WITH THE CITY OF AURORA'S PAVING STANDARDS FOR FIRE LANE EASEMENTS, AND THAT THEY SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, LANDSCAPE MATERIALS, SNOW OR OTHER OBSTRUCTIONS. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENT(S) IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANE EASEMENTS, STATING "FIRE LANE, NO PARKING." THE LOCAL LAW ENFORCEMENT AGENCY(S) IS HEREBY AUTHORIZED TO ENFORCE PARKING REGULATIONS WITHIN THE FIRE LANE EASEMENTS, AND TO CAUSE SUCH EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY APPARATUS USE.

8. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, INCLUDING THE HOMEOWNERS OR MERCHANTS ASSOCIATION, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL FIRE LANE SIGNS AND REQUIRED BY THE CITY OF AURORA.

9. THE APPROVAL OF THIS DOCUMENT DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. CONSTRUCTION PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO ISSUANCE OF BUILDING PERMITS.

10. FINAL GRADE SHALL BE AT LEAST SIX (6) INCHES BELOW ANY EXTERIOR WOOD SIDING ON PREMISES.

11. ALL CROSSINGS AND ENCROACHMENTS BY PRIVATE LANDSCAPE IRRIGATION SYSTEMS OR PRIVATE UTILITIES INTO EASEMENTS AND STREE RIGHTS-OF-WAY OWNED BY THE CITY OF AURORA ARE ACKNOWLEDGED BY THE UNDERSIGNED AS BEING SUBJECT TO CITY OF AURORA'S USE AND OCCUPANCY OF THE SAID EASEMENTS OR RIGHTS-OF-WAY. THE UNDERSIGNED, THEIR SUCCESSORS, AND ASSIGNS HEREBY AGREE TO INDEMNIFY THE CITY OF AURORA FOR ANY LOSS, DAMAGE, OR REPAIR TO CITY FACILITIES THAT MAY RESULT FROM THE INSTALLATION, OPERATION, OR MAINTENANCE OF SAID PRIVATE IRRIGATION SYSTMS OR PRIVATE UTILITIES.

12. ARCHITECTURAL FEATURES (I.E. BAY WINDOWS, FIREPLACES, ROOF OVERHANG, GUTTERS, EAVES, FOUNDATION, FOOTINGS, CANTILEVERED WALLS, ETC.) ARE NOT ALLOWED TO ENCRONCH INTO ANY EASEMENT OR FIRE LANE.



1 VICINITY MAP
NOT TO SCALE

SHEET INDEX:	
#	SHEET TITLE
01	COVER SHEET
02	SITE PLAN
03	LANDSCAPE PLAN
04	EXTERIOR ELEVATIONS
05	EXTERIOR ELEVATIONS
06	GRADING AND DRAINAGE PLAN
07	PHOTOMETRICS PLAN
08	GRADING & EROSION CONTROL PLAN

DATABLOCK:	
PROPOSED SITE DEVELOPMENT & RESTAURANT:	
LAND AREA WITHIN PROPERTY LINES	40,401 SF
GROSS FLOOR AREA	5,110 SF
NUMBER OF BUILDINGS	1
HEIGHT OF BUILDINGS	22'-0"
TOTAL BUILDING COVERAGE	12% / 5,110 SF
HARD SURFACE AREA	48% / 19,396 SF
LANDSCAPED AREA	35% / 14,304 SF
PRESENT ZONING CLASSIFICATION	OA-G
PERMITTED MAXIMUM SIGN AREA	80 SF
PROPOSED TOTAL SIGN AREA	36 SF
PROPOSED NUMBER OF SIGNS	2
PERMITTED NUMBER OF SIGNS	5
PARKING SPACES REQUIRED	
PARKING SPACES PROVIDED	28
HANDICAP SPACES REQUIRED	
HANDICAP SPACES PROVIDED	2
BICYCLE SPACES PROVIDED	1
BUILDING CODE INFORMATION	OCCUPANCY TYPE A2 CONSTRUCTION TYPE B2

PROJECT CONTACTS:	
DEVELOPER: JUSTIN HENRY 12102 AURORA, CO 80010 720-217-7838	PROPERTY OWNER: IZZY SONENREICH 2 ADAMS STREET #601, DENVER, CO 80206 303-321-3684
ARCHITECT: JON JENNINGS P.O. BOX 72, BLACK HAWK, CO 80422 303-503-8984	GENERAL CONTRACTOR: MARK FITZSIMMONS 720-203-4385
MEP ENGINEER: DAN KING RENO JAMES ENGINEERING 4900 WEST 29TH AVENUE, DENVER, CO 80212 720-936-5131	

PROJECT DESCRIPTION:
TWO STORY COMMERCIAL BUILDING +/- 5,000 sq. ft. BUILT 1972, FORMER VFW POST, TO CONTINUE USE AS A LOCAL BAR/RESTAURANT WITH NEW OUTDOOR AMENITIES.

SCOPE OF WORK:
IMPROVE EXISTING STRUCTURE FOR BUILDING & HEALTH CODE COMPLIANCE. NEW FULLY SPRINKLED FIRE SUPPRESSION SYSTEM (if required), NEW STREETScape AT DAYTON 7 23rd STREETS, RECREATIONAL AREA WITH VOLLEYBALL, BOCHE, AND LOWER PATIO, 30' x140' PATIO WITH FOOD SERVICE

CODE ANALYSIS: 2015 IBC

CONSTRUCTION TYPE: B2
BRICK VENEER/METAL SIDING OVER CMU, CONCRETE SLAB FLOOR & ROOF OVER STEEL DECKING ON STEEL BAR JOISTS.

ZONING: OA-G

OCCUPANCY: A2

CONSTRUCTION NOTES: ALL WORK PERFORMED SHALL BE PER 2015 IBC AND OTHER APPLICABLE CODES, AND CITY OF AURORA REGULATIONS, SUBJECT TO INSPECTIONS AND APPROVAL.

LEGAL DESCRIPTION:
LOTS 25 THROUGH 36 INCLUSIVE, BLOCK 16, NEW ENGLAND HEIGHTS, COUNTY OF ADAMS, STATE OF COLORADO.

CITY ATTORNEY: _____ DATE: _____

PLANNING DIRECTOR: _____ DATE: _____

PLANNING COMMISSION: _____ DATE: _____

ATTEST: _____ DATE: _____

DATABASE APPROVAL DATE: _____ DATE: _____

RECORDER'S CERTIFICATE:
ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF _____, COLORADO AT _____ O'CLOCK, THIS _____ DAY OF _____ AD, 2019.

CLERK AND RECORDER: _____ DEPUTY: _____

THIS SITE PLAN AND ANY AMENDMENTS HERETO, UPON APPROVAL BY THE CITY OF AURORA AND RECORDING, SHALL BE BINDING UPON THE APPLICATNS THEREFORE, THEIR SUCCESSORS AND ASSIGNS. THIS PLAN SHALL LIMIT AND CONTROL THE ISSUANCE AND VALIDITY OF ALL LAND AND STRUCTURES WITHIN THIS PLAN TO ALL CONDITIONS, REQUIREMENTS, LOCATIONS AND LIMITATIONS SET FORTH HEREIN. ABANDONMENT, WITHDRAWAL OR AMENDMENT OF THIS PLAN MAY BE PERMITTED ONLY UPON APPROVAL OF THE CITY OF AURORA.

IN WITNESS THEREOF, _____ HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____ AD, 2019.

BY: _____

STATE OF COLORADO
COUNTY OF ADAMS

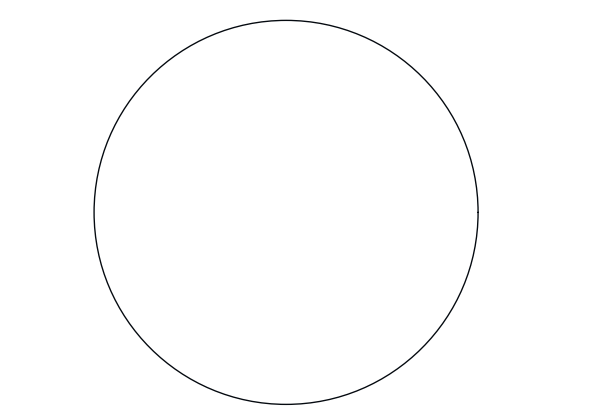
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ AD, 2019 BY _____

(PRINCIPALS OR OWNERS)

WITNESS MY HAND AND OFFICIAL SEAL

(NOTARY PUBLIC)

MY COMMISSION EXPIRES _____
NOTARY BUSINESS ADDRESS _____



JENNINGS ARCHITECTURE
P.O. BOX 72, BLACK HAWK, CO 80422
303.503.8984
JON@JENARCH.COM

SITE DEVELOPMENT FOR

2323 DAYTON STREET LLC - CONDITIONAL USE
2323 DAYTON STREET
AURORA, CO 80010

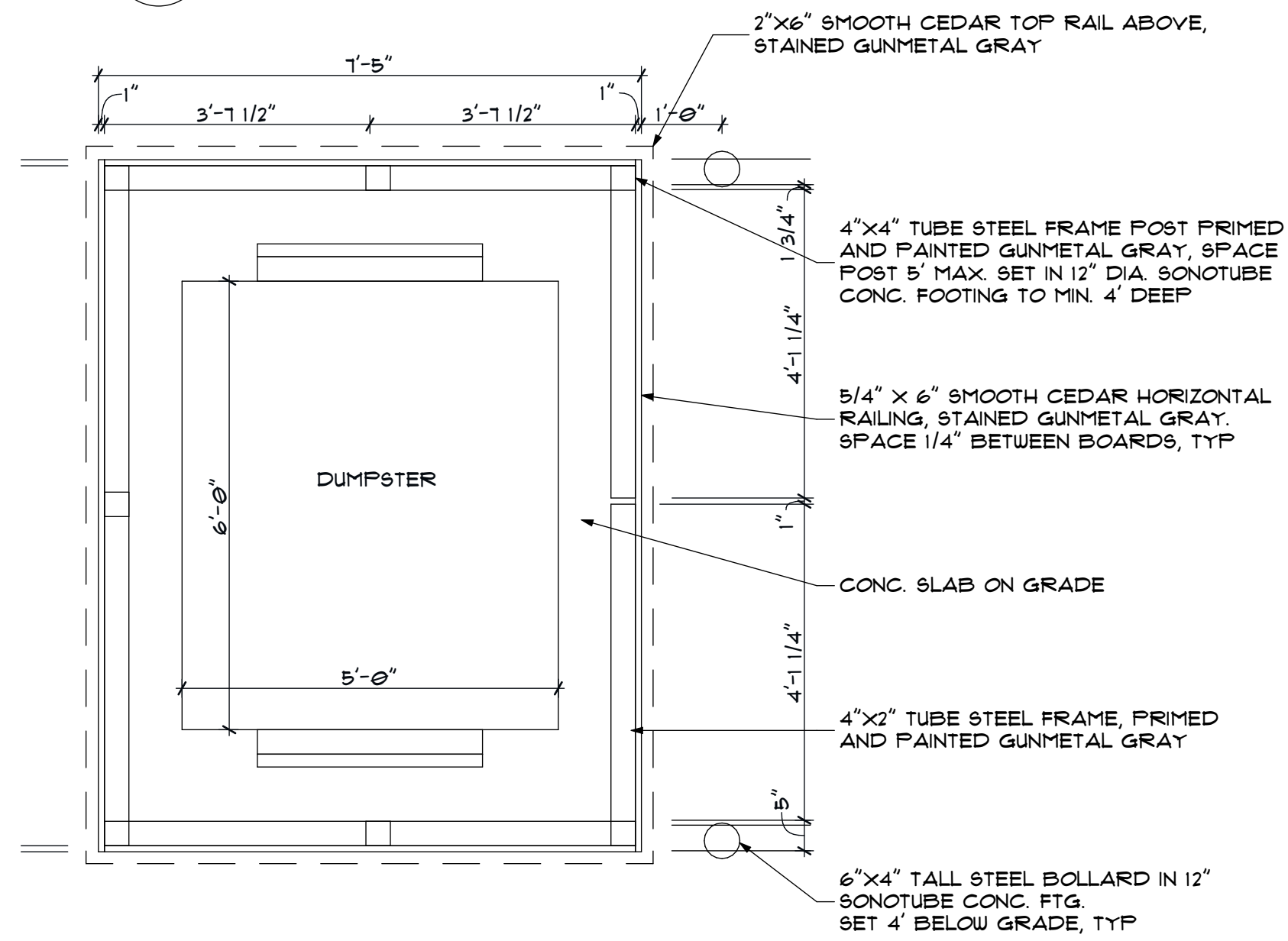
DATE: 4/23/2019
DRAWN: JJ/Pg
CHECKED: JJ

REVISIONS	DATE





5 TYP METAL SIDING FINISH
 02



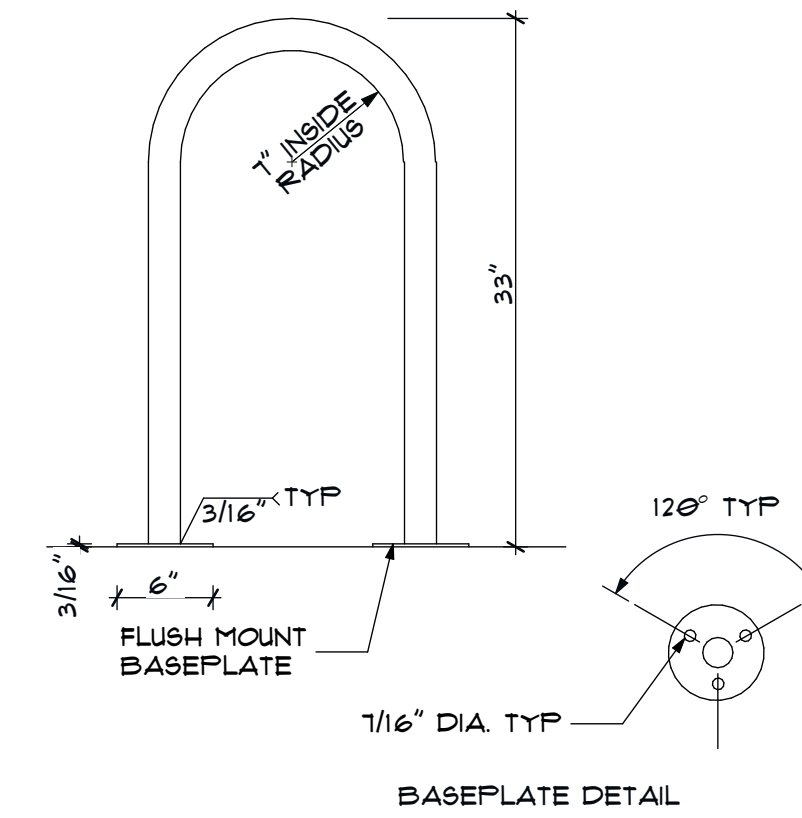
6 TRASH ENCLOSURE
 SCALE: 1/2" = 1'-0"



2 TYPE "A" FENCE
 02

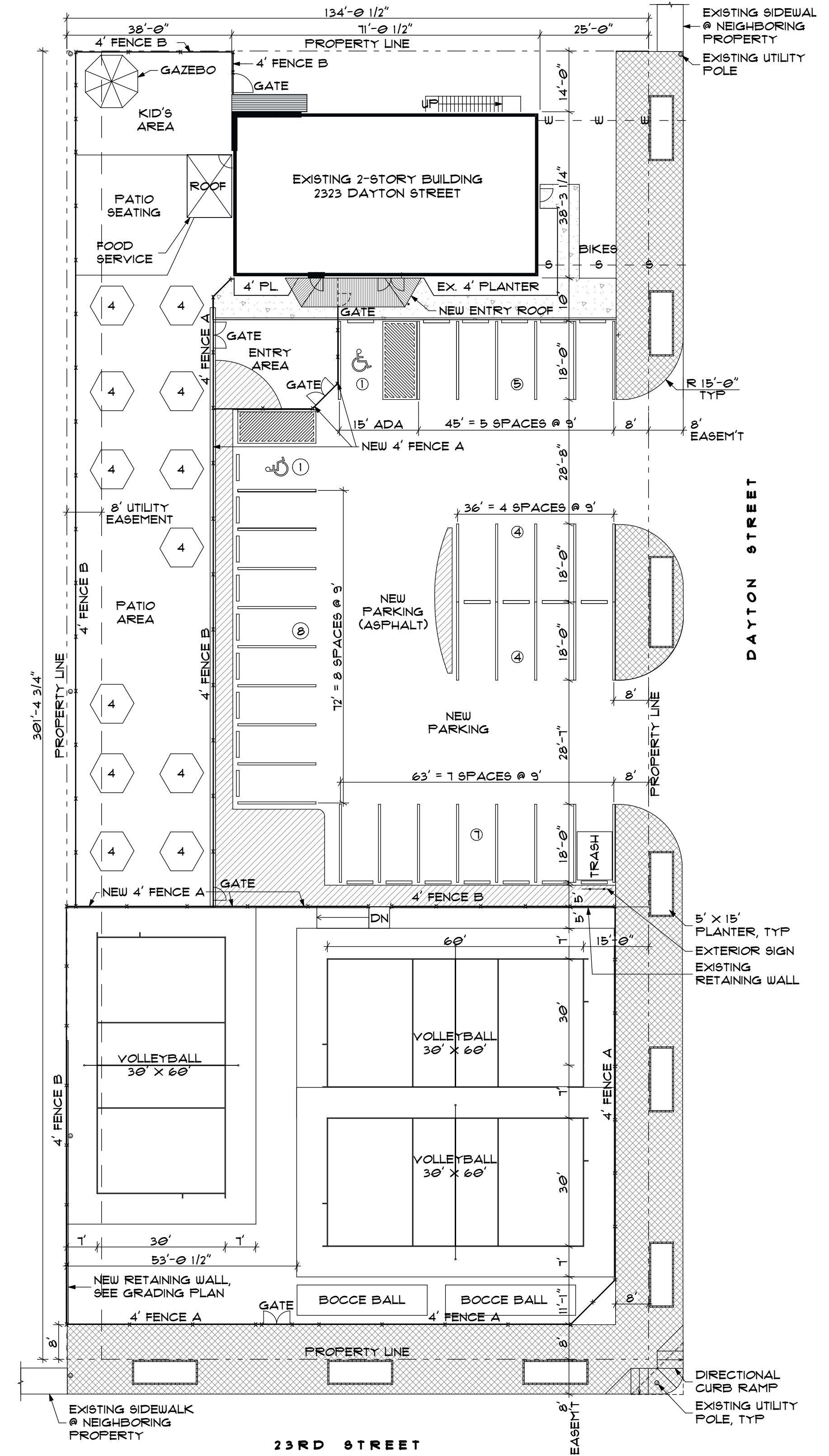


6 TYPE "B" FENCE
 SCALE: 1:1.03
 02



4 BIKE RACK DETAIL
 NOT TO SCALE
 02

- NOTES:
 DIMENSIONS:
 1. HEIGHT 33" FROM THE GROUND
 2. CONTINUOUS BEND INSIDE RADIUS = 7'
 MATERIALS AND CONSTRUCTION:
 1. MINIMUM OR 1-1/4" SCHEDULE 40 STEEL PIPE (1-5/8" OUTSIDE DIAMETER)
 2. MAXIMUM 1-1/2" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER)
 3. SOLID ONE-PIECE CONSTRUCTION; CONTINUOUS BEND; LEGS 14"-18" APART
 4. GALVANIZED WITH BLACK POWDER COAT FINISH
 5. FLUSH MOUNTED WITH WELDED BASE PLATES (6" DIAMETER, 3/16" THICK BASE PLATE); HIDDEN OR VANDAL-RESISTANT FASTENERS (SCREWS OR EXPANSION BOLTS)



1 SITE PLAN
 SCALE: 1" = 20'
 02

NORTH

SITE KEY	
[Pattern]	ASPHALT
[Pattern]	CONCRETE
[Pattern]	CONCRETE

DATE: 4/23/2019
 DRAWN: JJ/PJG
 CHECKED: JJ

REVISIONS
 MK DATE

JENNINGS ARCHITECTURE
 PO BOX 17
 BLACK HAWK, CO 80422
 303.503.6384
 JON@JJA3.COM

SITE DEVELOPMENT FOR

2323 DAYTON STREET LLC - CONDITIONAL USE
 2323 DAYTON STREET
 AURORA, CO 80010

DATE: 8/25/2019
 DRAWN: JJ/FG
 CHECKED: JJ

REVISIONS	DATE

NOT FOR CONSTRUCTION

03

NON-RESIDENTIAL BUILDING ELEVATION LANDSCAPING INFORMATION

Elevations	Length	1 tree per 40LF.....provided	Shrubs req'd.....provided
SOUTH	70'	2	
EAST	36'	1	

TABLE OF STREET FRONTAGE/BUFFER & NON-STREET BUFFER REQUIREMENTS

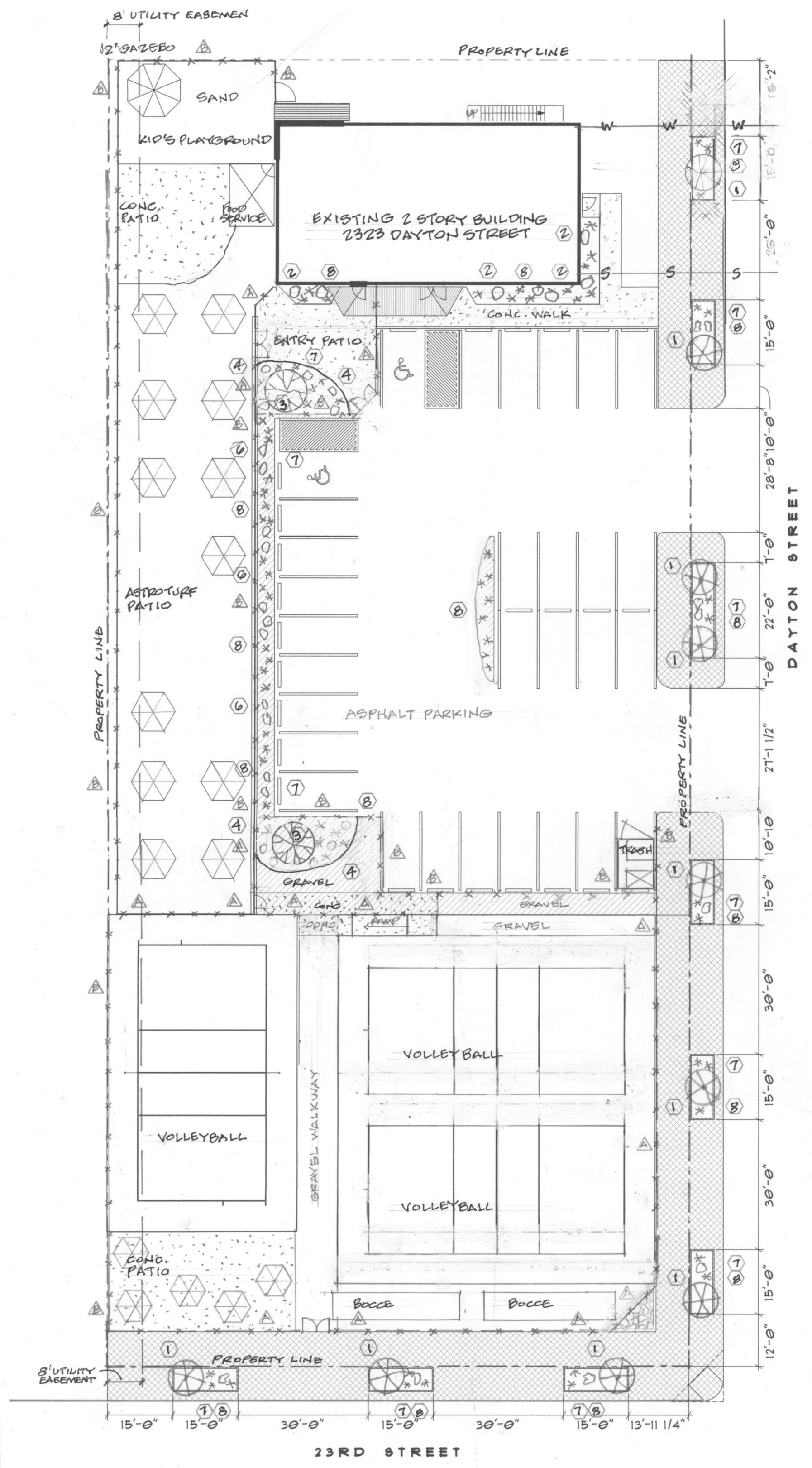
Buffer	Width req'd	Width provided	Buffer Reduction	Trees req'd.....provided	Shrubs req'd.....provided
DAYTON STREETSCAPE					
23RD STREETSCAPE					

LANDSCAPE MATERIAL KEY:

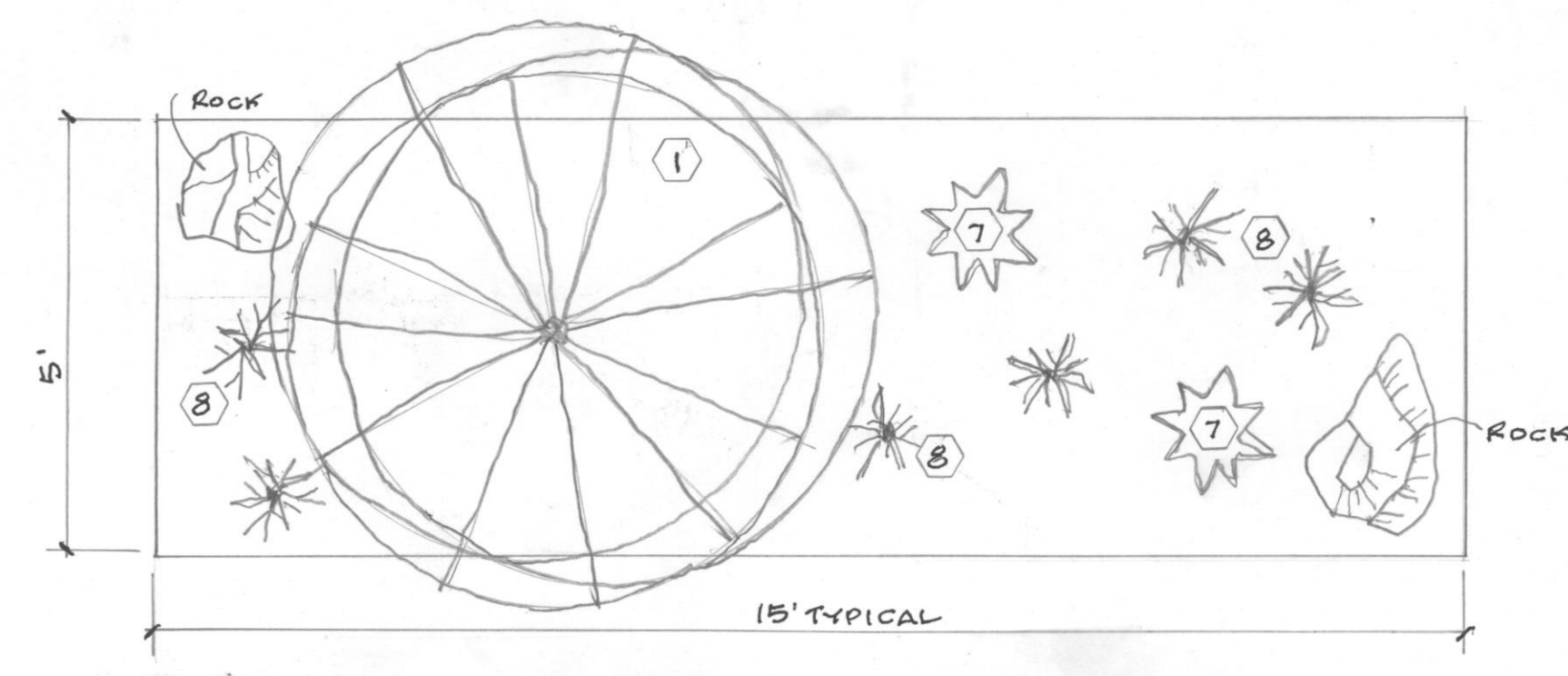
key	size	name	Latin	total
1	10'	Bigtooth Maple	ACER GRANDIDENTATUM	10
2	3'-4'	Mountain Lilac	CEANOTHUS FENDIERI	8
3	10'	Blue Spruce	SEDUM	2
4	18"	Mugo Pine	PINUS MUGOH	12
5	12"	Sage	ARTEMIS SP.	18
6	clump	4 Wing Saltbrush	*	30
7	2 gallon	Yucca	YUCCA	24
8	clump	Indian Grass	SORGHASTRUM NUTANS	40

Standard Landscaping Notes:

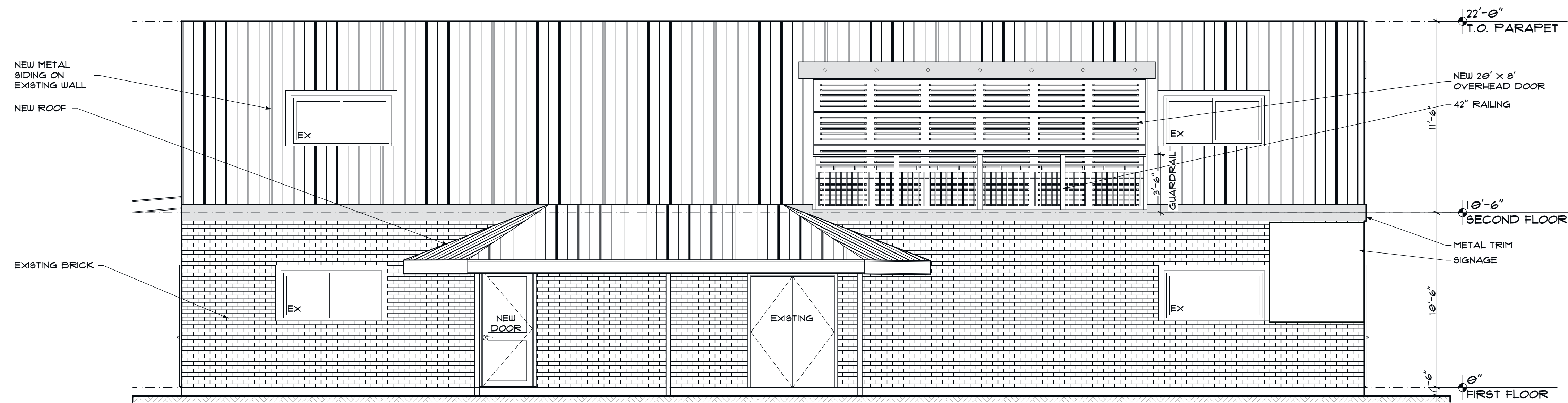
- The Developer, his successors and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved site plan or landscape plan on file in the planning department. All landscaping will be installed as delineated on the plan, prior to issuance of certificates of occupancy.
- All landscaping is Xeriscape #2 & #3.
- All utility easement shall remain unobstructed and fully accessible along their entire length for maintenance equipment entry.
- See landscaping plan for all surface materials of walks, vehicular drives and parking, patios and terraces.
- Soil preparation shall be per City and Local standards.
- Landscaping materials shown within the site plan cannot encroach into roadways that are dedicated (or designated) as fire lane easements (or corridors).



LANDSCAPE PLAN
 SCALE: 1" = 20'
 NORTH



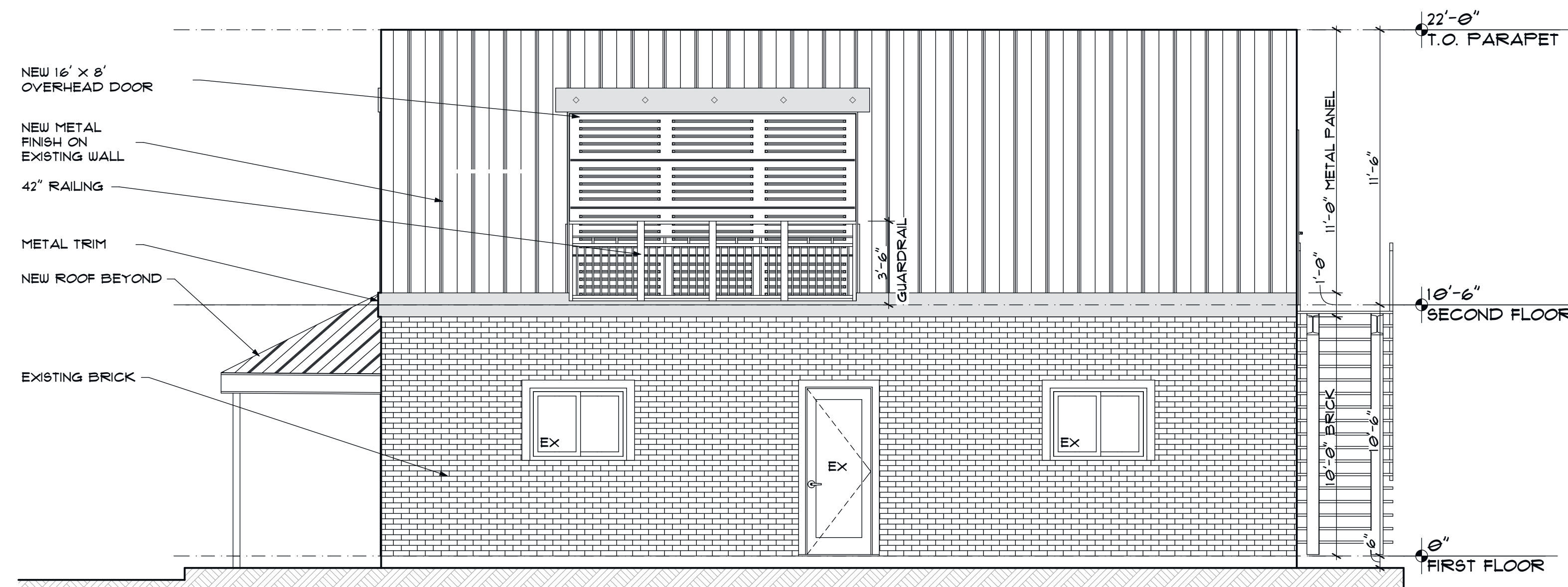
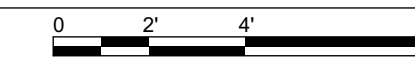
Typical 'STREETSCAPE' PLANTER DIAGRAM
 1/2" = 1'-0"



MATERIALS LEGEND

- BRICK
- METAL FINISH, SEE SITE PLAN
- METAL TRIM
- CMU
- EARTH

1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

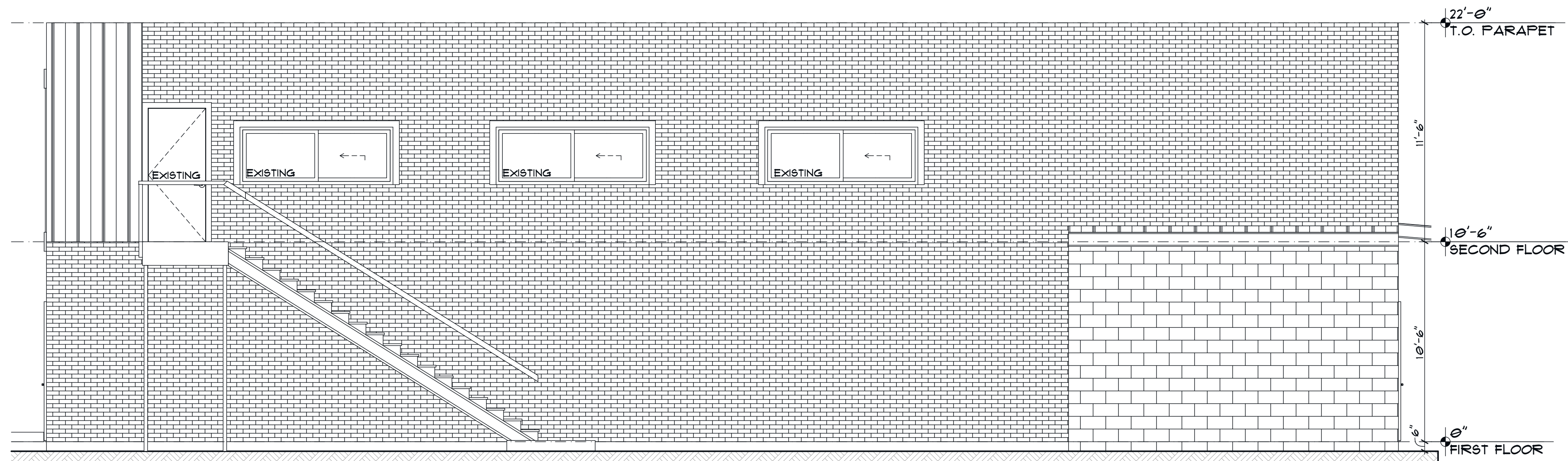


JENNINGS ARCHITECTURE
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SITE DEVELOPMENT FOR
2323 DAYTON STREET LLC - CONDITIONAL USE
 2323 DAYTON STREET
 AURORA, CO 80010

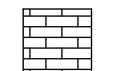


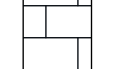
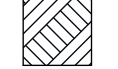
DATE: 4/23/2019
 DRAWN: JJPG
 CHECKED: JJ

REVISIONS	MK	DATE



1
05
NORTH ELEVATION
SCALE: 1/4" = 1'-0"
NOTE: NO NEW WORK

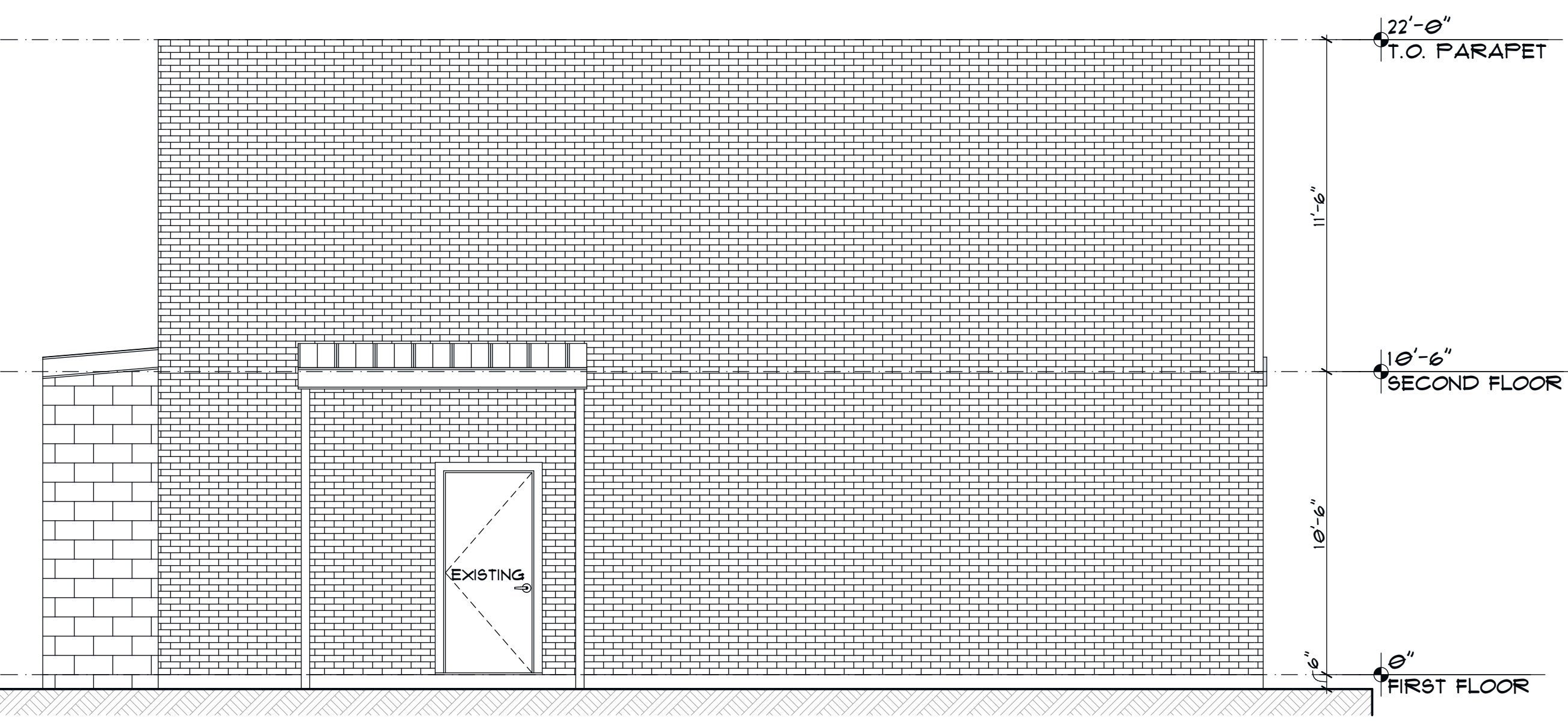


- MATERIALS LEGEND**
-  BRICK
 -  METAL FINISH, SEE SITE PLAN
 -  METAL TRIM
 -  CMU
 -  EARTH

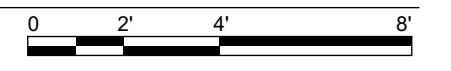
JENNINGS ARCHITECTURE
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303.503.5384 JON@JJA3.COM

2323 DAYTON STREET LLC - CONDITIONAL USE
2323 DAYTON STREET
AURORA, CO 80010

SITE DEVELOPMENT FOR



2
05
WEST ELEVATION
SCALE: 1/4" = 1'-0"
NOTE: NO NEW WORK



DATE: 4/23/2019
DRAWN: JJ/PJG
CHECKED: JJ

REVISIONS	MK	DATE

05

LEGEND:

- Property Line ———
- Existing Spot Elevations 50'±
- Existing Curb & Gutter Ex. C&G
- Proposed Curb new curb
- Existing Sheet Flow 2.4%
- Redirected Flow →
- FL Flow Line
- T.O.W. Top of Wall
- T.O.G. Top of Gate

GRADING & EROSION CONTROL NOTES:

There will not be a need for any grading on the existing developed portion of this project.

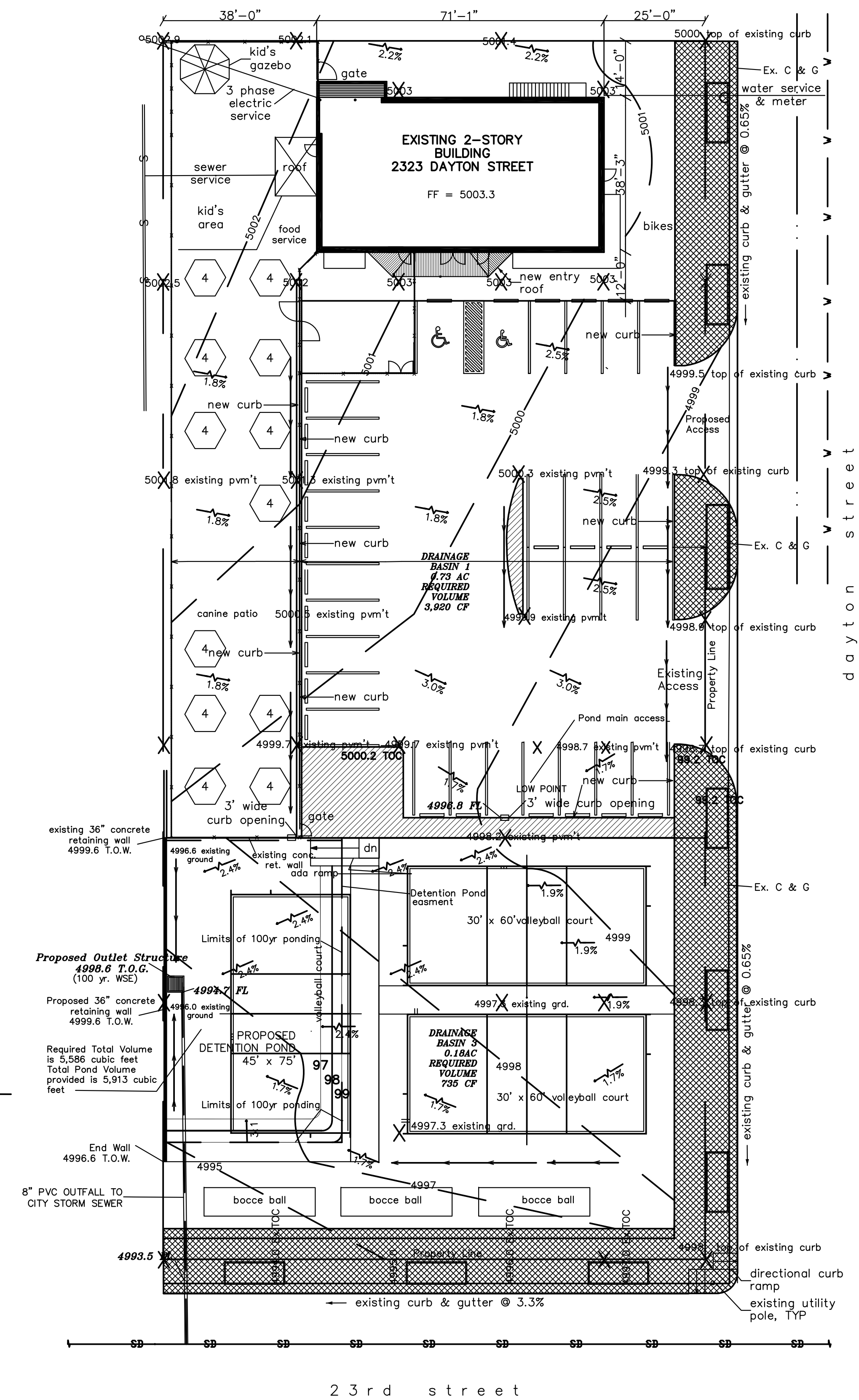
Minimal grading will need to be done on the undeveloped lot in order to establish the proposed detention pond and to level-out areas for the volleyball courts.

TEMPORARY EROSION CONTROL
will be provided as follows:

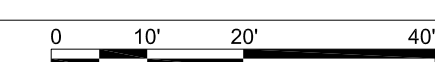
Silt Fence along the west and south property lines during all grading operations.

Rock Socks placed in the curb flowline at 40 foot intervals along Dayton St. & 23rd St.

PERMANENT EROSION CONTROL:
will be provided as a result of the WQCV within the new detention pond.



① GRADING & EROSION CONTROL PLAN
1" = 20'-0"



HJD CONSULTING

RICHARD WHITE, P.E.
970-988-2409
E: whitehouse2@hotmail.com
4414 W 1ST ST.
GREELEY, CO 80634

WATERING BOWL PROJECT

2323 DAYTON STREET, AURORA CO

GRADING & EROSION CONTROL PLAN

SETS

GRADING & EROSION CONTROL PLAN	05/09/19