

Change Order

THB SF LLC

Job	Change
265-490106	All

Job Information			
Address:	9003 E. 61st PI	Legal:	Lot:06 Block:01 Section:49
Plan Number:	R-0652-A		
Plan Name:	PWR		
Purchaser Information			
Purchaser:	Spec	Home Phone:	
Current Address:		Work Phone:	
Email Address:		Cell Phone:	

Chg#	Line	Option	Description	Qty	Unit Price	Extended	Deposit
001	001	CORNER01-00	Corner Lot - includes -additional lanscaping and sidewalk -	1.000	.00	.00	.00
001	002	ELEVA-00	Elevation A --- Color Scheme 4: Homburg Gray	1.000	.00	.00	.00
001	003	26565203-00	3 Car Garage ---	1.000	6,865.00	6,865.00	.00
001	004	26565207-00	Garage Service Door with Stoop ---	1.000	1,873.00	1,873.00	.00
001	005	26565208-00	Extended Concrete Patio ---	1.000	1,514.00	1,514.00	.00
001	006	26565210-00	Extended Outdoor Living --- Front Porch with Wrap Around.	1.000	2,933.00	2,933.00	.00
001	007	26565220-00	Master Bedroom Deck with Door ---	1.000	5,056.00	5,056.00	.00
Change Order 001 Total						18,241.00	.00

002	001	ELECT13-00	Recessed Can Light --- Family, Master and powder room	9.000	111.00	999.00	.00
002	002	ELECT20-00	32" Under Cabinet Light - LED -- includes switch -	4.000	262.00	1,048.00	.00
002	003	26565202-00	Rough in Bathroom at Basement ---	1.000	885.00	885.00	.00
002	004	ELECT03-00	(2) 3 Way Switches Decora -Whole House -	1.000	136.00	136.00	.00
Change Order 002 Total						3,068.00	.00

003	001	PLUMB39-00	Sterling Windham Elongated Toilet -403081 -	3.000	.00	.00	.00
003	002	PLUMBA-00	Kohler Coralais Kitchen Faucet Chrome -(K-15160-CP) -	1.000	.00	.00	.00
003	004	PLUMBAA-00	Sterling Stainless Undermount ---	1.000	.00	.00	.00
003	005	PLUMBCC-00	Kohler Coralais Chrome w/Alteo Hardware -All Bathrooms (K15241CP, K-TS15601CP) -	1.000	.00	.00	.00
003	006	PLUMBDD-00	Sterling Wescott Undermount ---	4.000	.00	.00	.00
003	007	265APP00-00	Gourmet KitchenAid Gas KKCGS356ESS, KKODE300ESS, KKDTE104ESS, WUMC5225DS, WMK2227AS, ZZANM90BS --	1.000	.00	.00	.00
003	008	DOORHD00-00	Schlage Torino Lever with Barcelona -- Satin Nickel -	1.000	.00	.00	.00
003	009	PAINT04-00	Included interior paint - Walls, Doors, Ceilings and Trim - Nuance -	1.000	.00	.00	.00

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Chg#	Line	Option	Description	Qty	Unit Price	Extended	Deposit
003	010	shower01-00	Semi Frameless Master Shower Door - Chro -Chrome	1.000	.00	.00	.00
003	011	LIGHT00-00	Kichler Whole House Lighting - Included Brushed Nickel -	1.000	.00	.00	.00
003	012	INTTR14-00	Interior Trim Package - Zen 2.0 - - -	1.000	.00	.00	.00
003	013	PAINT03-00	Stained handrail - Java - - - JAVA	1.000	.00	.00	.00
003	014	2644B-00	Casual Elegance Package B - Cool - - -	1.000	23,000.00	23,000.00	.00
003	015	26565212-00	French Doors at Study - - -	1.000	1,030.00	1,030.00	.00
003	016	26565215-00	Glass at Study - - -	1.000	300.00	300.00	.00
003	017	ELECT13-00	Recessed Can Light - - - Delete from change order #2 Line 1 Can lights are standard in family room	-4.000	111.00	-444.00	.00
003	018	ELECT03-00	(2) 3 Way Switches Decora -Whole House - Delete from change order #2 line 4 no longer needed due to deleting can lights in family room	-1.000	136.00	-136.00	.00
Change Order 003 Total						23,750.00	.00
004	001	LOWVOLT-00	Low Voltage Selections - - -	1.000	705.00	705.00	.00
Change Order 004 Total						705.00	.00
005	002	INTTRIM4-00	*Standard Wood Stair Rail (only available when wood stair rail has been selected) - -	1.000	.00	.00	.00
Change Order 005 Total						.00	.00
Grand Total						45,764.00	.00

Sales Recap	Contract Amount
Base Price	661,950.00
Change Order 001	18,241.00
Change Order 002	3,068.00
Change Order 003	23,750.00
Change Order 004	705.00
Change Order 005	.00
Lot Premium	6,000.00
Allw: Lot Premi	.00
Allw: Design Studio	.00
Allw: Sales Options	.00
Allw: Close Costs	.00
Allw: Default	.00
Concession	.00

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Continued...	Contract
Sales Recap	Amount
Quality Grade	.00
	713,714.00

Amount paid: \$ _____ Check No. _____ Check Date: _____

Committed BRIX Sales: _____ (Yes) Committed Date: _____

Community Manager _____ Date: _____

Reviewed by: _____ Construction _____ Date: _____

Reviewed by: _____ Purchasing _____ Date: _____

This Request for Change Constitutes the entire change and Seller has no liability, either stated or implied, to implement this change, except as described herein. This Request for Change shall become an amendment to the original Purchase Agreement when signed by Purchasers and the Seller. Sales and construction department personnel of Seller have no authority to bind Seller. The material and labor furnished pursuant to this Request for Change shall be considered options and extras to the original Purchase Agreement, and payments made hereunder shall be refunded or retained as provided in the original Purchase Agreement. Upon the Purchaser's cancellation or change of any option or custom change on an executed Request for Change, Seller will at Seller's discretion retain the greater of \$100 or 20% or the price of the option(s) or custom changes cancelled, deleted, or changed. Seller's liability shall be limited to the cost of the change. Purchaser and Seller hereby acknowledge that Seller does not guarantee the value of any requested change(s) and will be held harmless against any appraised values of such changes.

THB SF LLC, a Colorado limited liability company
By: NT Builders LLC, A Colorado Limited Liability Company, its Manager

Purchaser Date

Authorized Signature Date

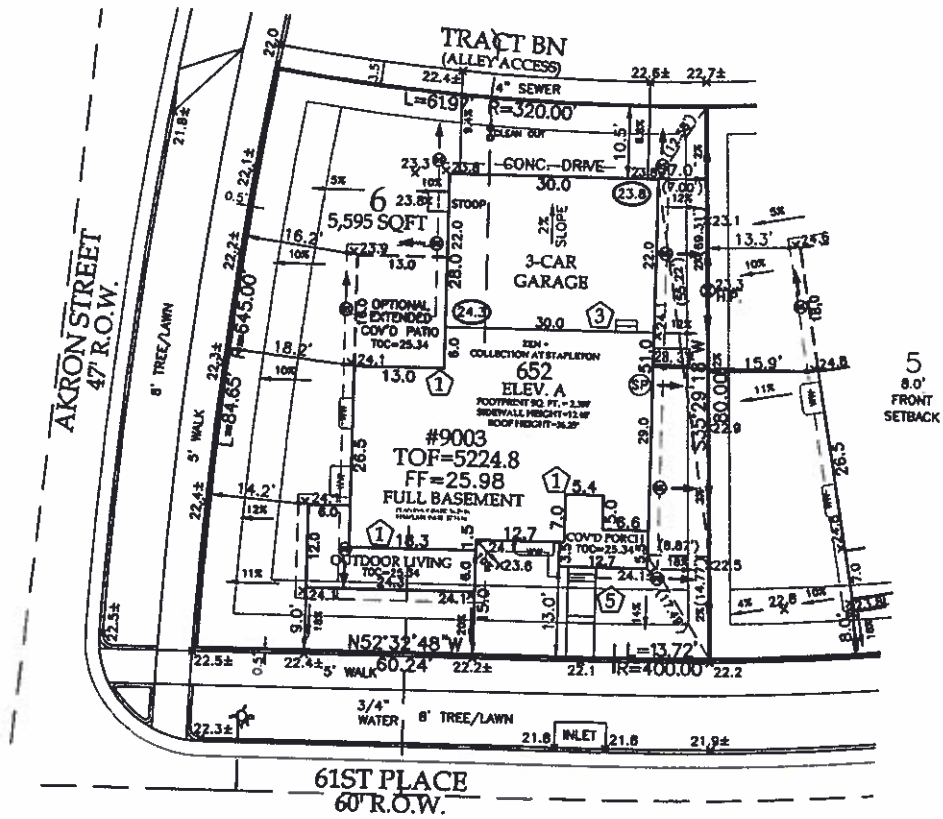
Purchaser Date

Appv'd BRIX Sales: _____ Date: _____

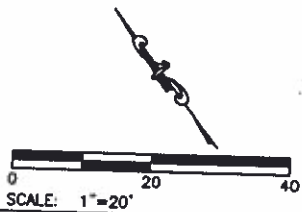
THB SF LLC PLOT PLAN

LOT 6
BLOCK 1

LOT INVENTORY NOT AVAILABLE AT TIME OF PLOT PLAN DESIGN. GRADES SHOWN AT CORNERS ARE FROM THE GRADING PLAN AND SUBJECT TO CHANGE AFTER FIELD VERIFICATION.



Handwritten signature and date:
11.22.16



MEASUREMENTS FROM FINISH WALL: 10' SEPARATION SHALL BE MAINTAINED BETWEEN STRUCTURES.

TOTAL PERMEABLE AREA INCLUDING TREE/LAWN IS 4,296 S.F.

SUGGESTED NUMBER OF RISERS AT LOCATION(S) SHOWN BASED ON 7-3/4" MAXIMUM RISERS.

GRADE BEAM TO BE 18" BELOW TOP OF FOUNDATION TO ACHIEVE DRIVEWAY SLOPE INDICATED. NOTE: FROST DEPTH MUST BE MAINTAINED; REFER TO STRUCTURAL DETAILS.

- NOTES:
- 1) PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
 - 2) PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STARTUP.
 - 3) EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAN AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
 - 4) RECORDED PLAN AND OVERLIE GRADING PLAN PREPARED BY AECOM.
 - 5) LOT CORNER ELEVATION CHECK NOT CHECKED.

SUBDIVISION: STAPLETON FILING NO. 49		REVISIONS:	
COUNTY: DENVER	CITY: DENVER		
ADDRESS: 9003 61ST PLACE			
MODEL OPTIONS: 652-A/3-CAR/FULL BSMT/GSD/EXT PATIO/FRONT WRAP PORCH/MASTER DECK			
DRAWN BY: AL	DATE: 11-11-16	CHECK BY:	
		MINIMUM SETBACKS: FRONT HOUSE: 10' FRONT PORCH: 5' REAR: 4' CORNER: 10' SIDE: 3' SEPARATION: 10'	
SETBACK REQUIREMENTS ACQUIRED FROM THE STAPLETON #49 RDP.		6841 South Yosemite Street Centennial, CO 80112 USA Phone: (303) 850-0599 Fax: (303) 850-0711 E-mail: info@survey.net	