

LOT 2 / BLOCK 1

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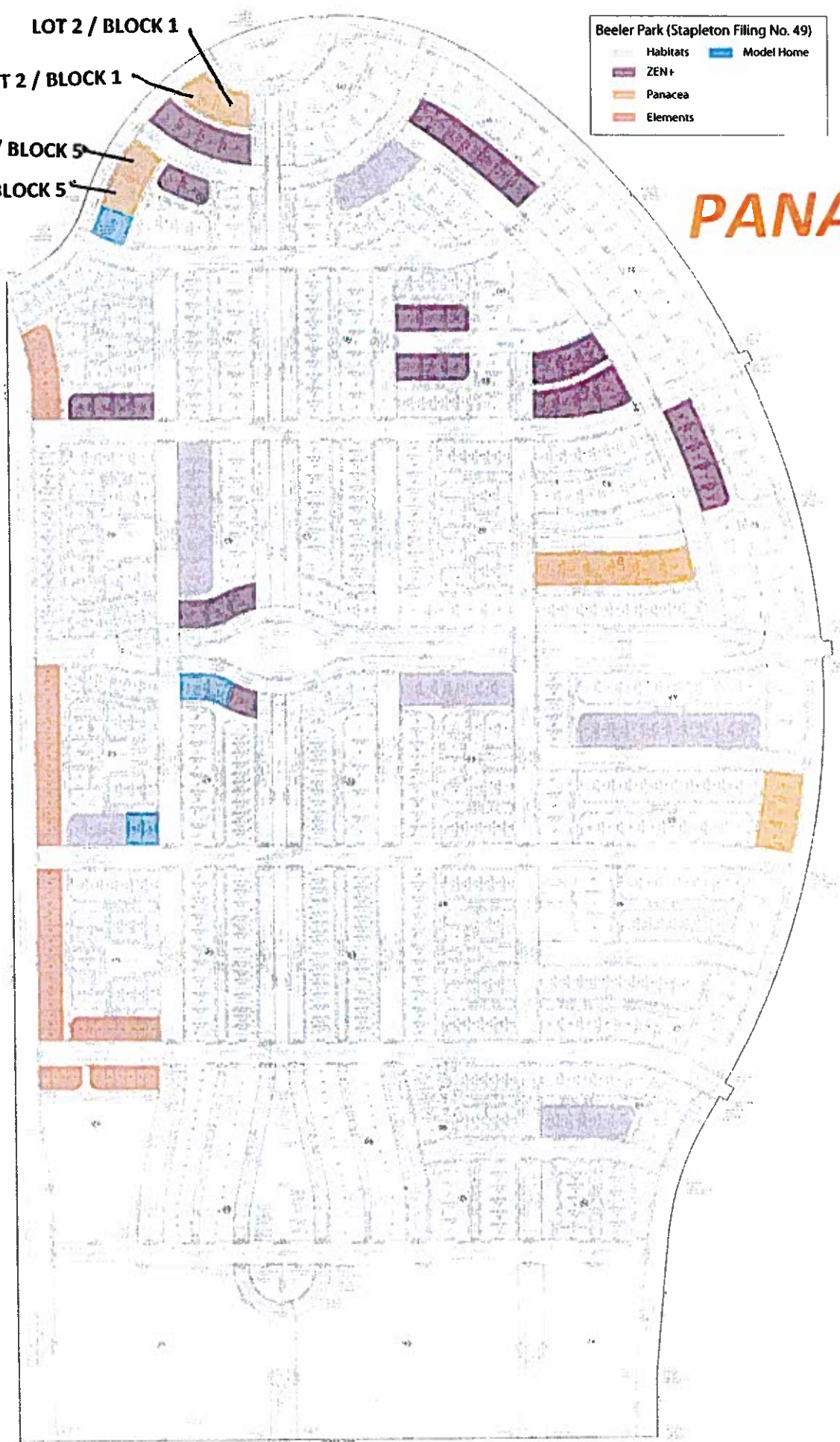
LOT 12 / BLOCK 5

LOT 11 / BLOCK 5

Beeler Park (Stapleton Filing No. 49)

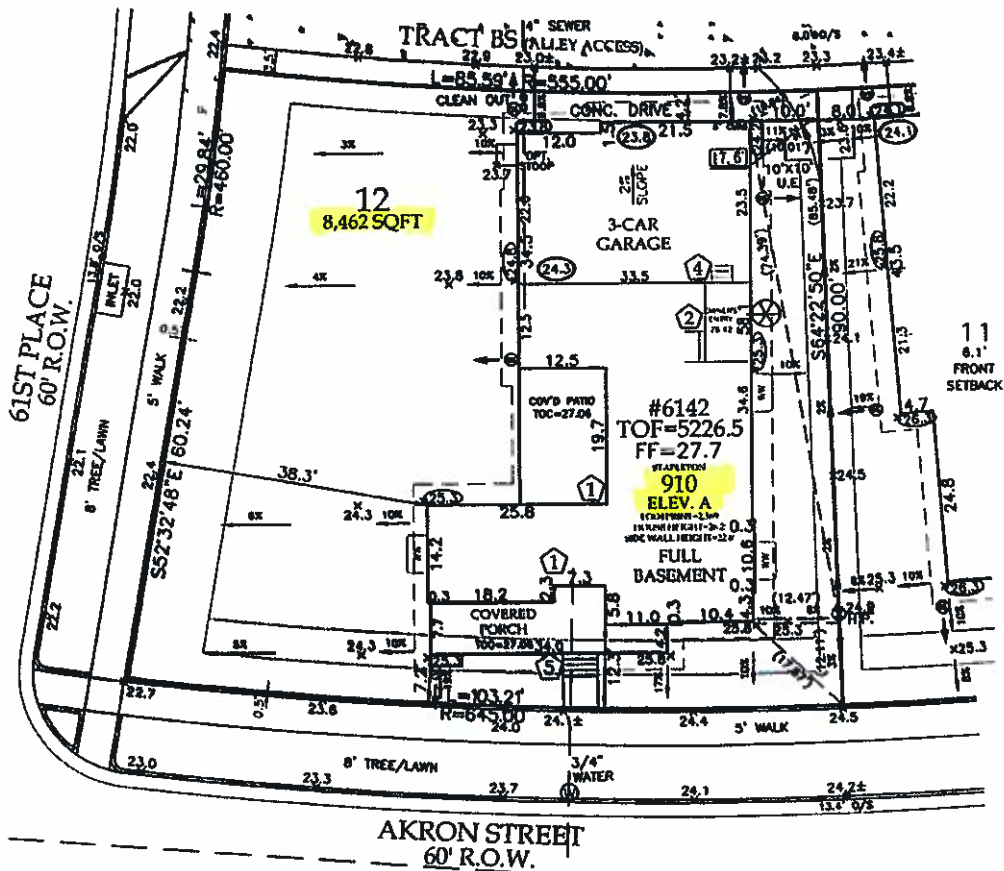
- Habitats
- ZEN+
- Panacea
- Elements
- Model Home

PANACEA



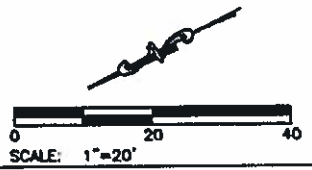
THB SF LLC PLOT PLAN

**LOT 12
BLOCK 5**




Handwritten signature and date: 12-21-16

- FINISH GRADES HAVE BEEN LOWERED, THICKEN EDGE OF PORCH TO 14" BELOW TOP OF FOUNDATION.
- FINISH GRADES HAVE BEEN LOWERED, SIDE DOWN TO MATCH.
- FINISH GRADES ALONG SIDE OF GARAGE HAVE BEEN LOWERED, POUR TALLER FOUNDATION WALL TO MAINTAIN FROST PROTECTION.
- MEASUREMENTS FROM FINISH WALL; 10" SEPARATION SHALL BE MAINTAINED BETWEEN STRUCTURES.
- TOTAL PERMEABLE AREA INCLUDING TREE/LAWN IS 7,261 S.F.
- GRADE BEAM TO BE 36" BELOW TOP OF FOUNDATION TO ACHIEVE DRIVEWAY SLOPE INDICATED. NOTE: FROST DEPTH MUST BE MAINTAINED; REFER TO STRUCTURAL DETAILS.



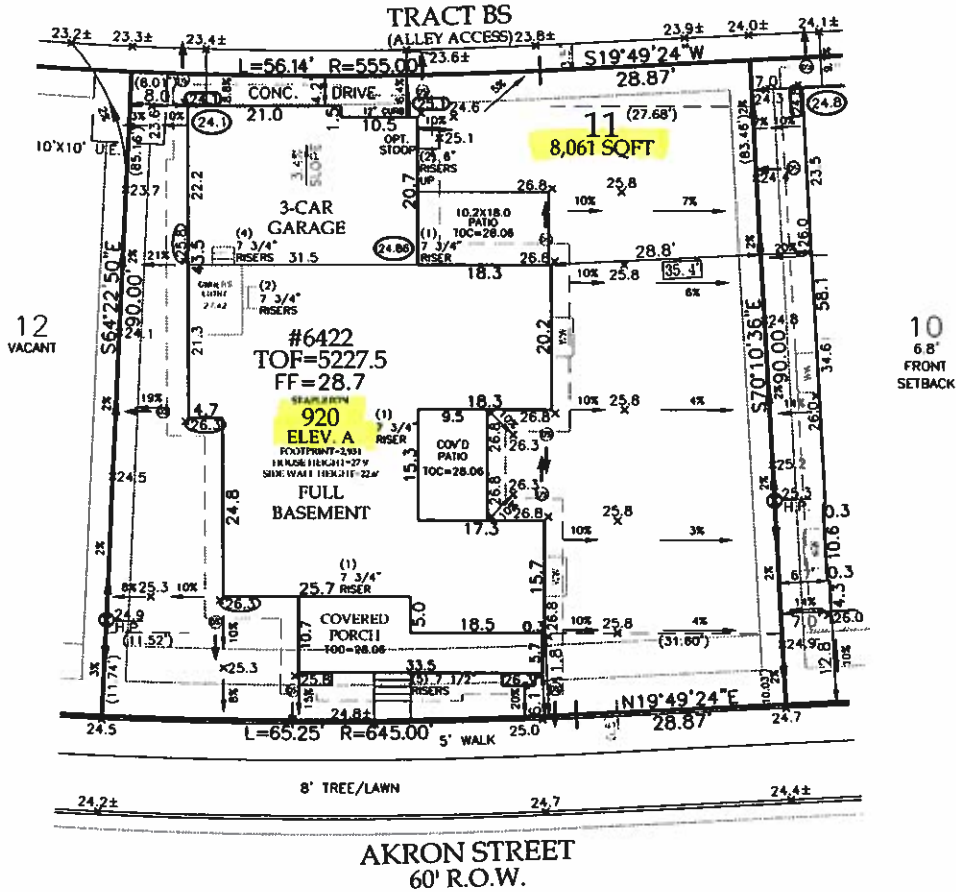
- NOTES:**
- 1) PLOT PLAN NOT TO BE USED FOR EXHIBITION PLAN OR FOUNDATION PLAN LAYOUT.
 - 2) PLOT PLAN IS SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO SHEETOUT.
 - 3) DIMENSIONS DISPLAYED ON THIS PLAN ARE FROM THE RECORDED PLAN AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
 - 4) RECORDED PLAT AND OVERLAP EXISTING PLAN PREPARED BY ACCOM.
 - 5) LOT CORNER ELEVATION CHECK, NOT CHECKED.

SUBMISSION: STAPLETON FILING NO. 49		REVISIONS:	
COUNTY: DENVER CITY: DENVER			
ADDRESS: 6142 AKRON STREET			
MODEL OPTIONS: 910-A/3-CAR/FULL BSMT/GSD			
DRAWN BY: AL	DATE: 12-21-16	CHECK BY:	
		MINIMUM SETBACKS: FRONT HOUSE: 10' FRONT PORCH: 5' REAR: 4' CORNER: 10' SIDE: 3' SEPARATION: 10'	
		SETBACK REQUIREMENTS ACCORDING FROM THE STAPLETON #48 ORD. 6841 South Yosemite Street Centennial, CO 80112 USA Phone: (303) 850-0539 Fax: (303) 850-0711 E-mail: info@bsurvey.net	

THB SF LLC PLOT PLAN

**LOT 11
BLOCK 5**

LOT INVENTORY NOT AVAILABLE AT TIME OF PLOT PLAN DESIGN; GRADES SHOWN AT CORNERS ARE FROM THE GRADING PLAN AND SUBJECT TO CHANGE AFTER FIELD VERIFICATION



POUR 12" CURB ALONG SIDE(S) OF DRIVE TO PROVIDE POSITIVE DRAINAGE.

FINISH GRADES HAVE BEEN LOWERED, SIDE DOWN TO MATCH.

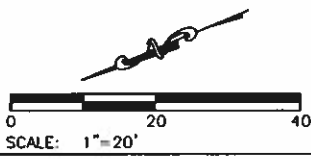
FINISH GRADES HAVE BEEN LOWERED, THICKEN EDGE OF PORCH TO 20" BELOW TOP OF FOUNDATION.

FINISH GRADES ALONG SIDE OF GARAGE HAVE BEEN LOWERED, POUR TALLER FOUNDATION WALL TO MAINTAIN FROST PROTECTION.

MEASUREMENTS FROM FINISH WALL; 10' SEPARATION SHALL BE MAINTAINED BETWEEN STRUCTURES.

TOTAL PERMEABLE AREA INCLUDING TREE/LAWN IS 5,628 S.F.

* GRADE BEAM TO BE 45" BELOW TOP OF FOUNDATION TO ACHIEVE DRIVEWAY SLOPE INDICATED. NOTE: FROST DEPTH MUST BE MAINTAINED; REFER TO STRUCTURAL DETAILS.



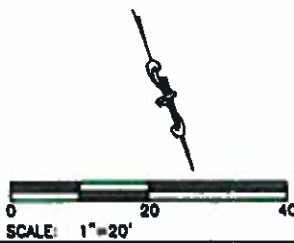
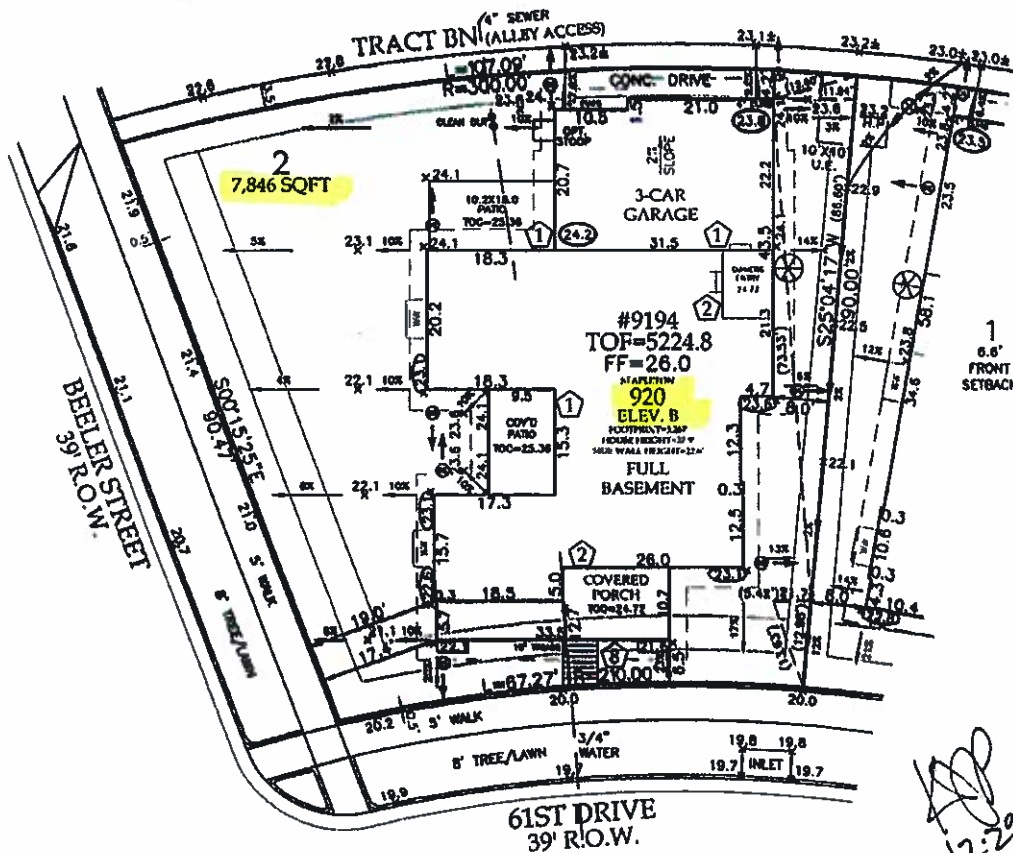
- (SP) SUMP PUMP/PI
- (DS) DOWNSPOUT LOCATION
- DOWNSPOUT FLOW DIRECTION

- NOTES:
- 1) PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
 - 2) PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
 - 3) EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
 - 4) RECORDED PLAT AND OVERLOT GRADING PLAN PREPARED BY AECOM.
 - 5) LOT CORNER ELEVATION CHECK NOT CHECKED

SUBDIVISION: STAPLETON FILING NO. 49		REVISIONS:	
COUNTY: DENVER CITY: DENVER			
ADDRESS: 6422 AKRON STREET			
MODEL OPTIONS: 920-A/3-CAR/FULL BSMT/GSD			
DRAWN BY: AL		CHECK BY:	
DATE: 11-01-16			
MINIMUM SETBACKS:			
FRONT HOUSE: 10'	FRONT PORCH: 5'	CORNER: 10'	SEPARATION: 10'
REAR: 4'		SIDE: 3'	
		SETBACK REQUIREMENTS ACQUIRED FROM THE STAPLETON #49 RDP.	
6841 South Yosemite Street Centennial, CO 80112 USA Phone: (303) 850-0559 Fax: (303) 850-0711 E-mail: info@bsurvey.net			

THB SF LLC PLOT PLAN

**LOT 2
BLOCK 1**



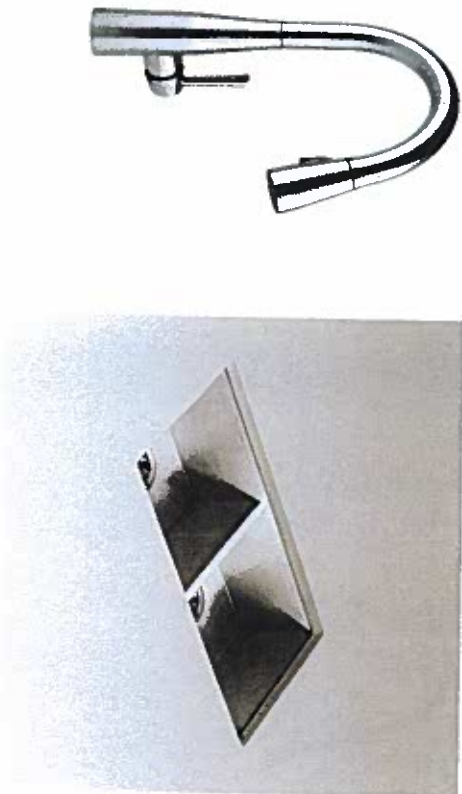
- POUR 4" CURB ALONG SIDE(S) OF DRIVE TO PROVIDE POSITIVE DRAINAGE.
 - FINISH GRADES HAVE BEEN LOWERED, SIDE DOWN TO MATCH.
 - FINISH GRADES HAVE BEEN LOWERED, THICKEN EDGE OF PORCH TO 38" BELOW TOP OF FOUNDATION.
 - SUGGESTED NUMBER OF RISERS AT LOCATION(S) SHOWN BASED ON 7-3/4" MAXIMUM RISERS.
 - MEASUREMENTS FROM FINISH WALL; 10" SEPARATION SHALL BE MAINTAINED BETWEEN STRUCTURES.
 - GRADE BEAM TO BE 16" BELOW TOP OF FOUNDATION TO ACHIEVE DRIVEWAY SLOPE INDICATED.
 - TOTAL PERMEABLE AREA INCLUDING TREE/LAWN IS 8,923 S.F.
 - NOTE: FROST DEPTH MUST BE MAINTAINED; REFER TO STRUCTURAL DETAILS.
- NOTES:
- 1) PLOT PLAN NOT TO BE USED FOR DIGRATION PLAN OR FOUNDATION PLAN LAYOUT.
 - 2) PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
 - 3) DIMENSIONS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL DIMENSIONS OF RECORD.
 - 4) RECORDED PLAT AND OVERLAY GRADING PLAN PREPARED BY ACCOM.
 - 5) SEE CORNER ELEVATION SHEET 11-11-16

SUBMISSION: STAPLETON FILING NO. 49		REVISIONS:	
COUNTY: DENVER	CITY: DENVER		
ADDRESS: 9194 61ST DRIVE			
MODEL OPTIONS: 920-B/3-CAR/FULL BSMT/GSD			
DRAWN BY: AL	DATE: 12-21-16	CHECK BY:	
		MINIMUM SETBACKS: FRONT HOUSE: 10' FRONT PORCH: 5' REAR: 4' CORNER: 10' SIDE: 3' SEPARATION: 10'	
SETBACK REQUIREMENTS ACQUIRED FROM THE COMPLETION #49 REP.		6841 South Yosemite Street Centennial, CO 80112 USA Phone: (303) 850-0559 Fax: (303) 850-0711 E-mail: info@surveying.net	

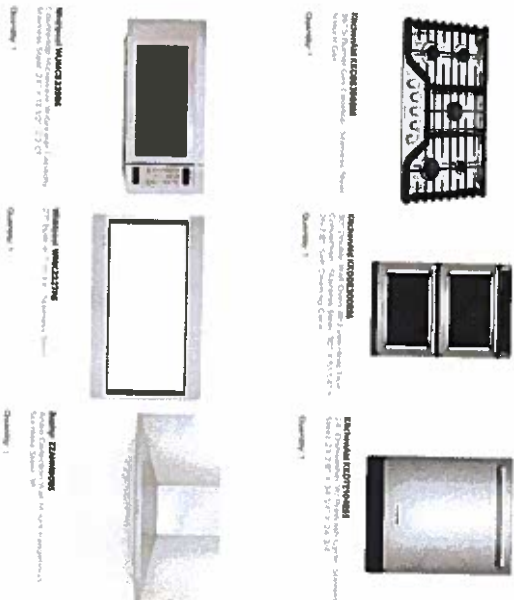
Included Features

Kitchen

Faucet - Delta Essa - Stainless
 Sink - Kohler Vault Double Bowl - Stainless



Kitchen - Aid Gas



Bathrooms

Faucet - Delta Lahara w/ Moen Hardware - Stainless
 Sink - Kohler Archer - Undermount
 Powder Bath - Kohler Archer
 Toilet - Kohler Highline



Lighting

Exterior - Kichler Camden 49120AVIPL
 Foyer /Bedrooms - Kichler 3797NI- Nickel
 Island - Kichler 3497NI - Nickel
 Bathrooms - Kichler 5098NI - Nickel

